

## NOTICE OF MEETING

# PLANNING SUB COMMITTEE

**Monday, 8th December, 2025, 7.00 pm - George Meehan House, 294 High Road, Wood Green, London, N22 8JZ (watch the live meeting [here](#), watch the recording [here](#))**

**Councillors:** Sean O'Donovan, Lotte Collett, Barbara Blake (Chair), Reg Rice, Nicola Bartlett, John Bevan (Vice-Chair), Cathy Brennan, Scott Emery, Emine Ibrahim, Alexandra Worrell and Kaushika Amin

**Co-optees/Non Voting Members:**

**Quorum:** 3

### 1. FILMING AT MEETINGS

Please note this meeting may be filmed or recorded by the Council for live or subsequent broadcast via the Council's internet site or by anyone attending the meeting using any communication method. Although we ask members of the public recording, filming or reporting on the meeting not to include the public seating areas, members of the public attending the meeting should be aware that we cannot guarantee that they will not be filmed or recorded by others attending the meeting. Members of the public participating in the meeting (e.g. making deputations, asking questions, making oral protests) should be aware that they are likely to be filmed, recorded or reported on. By entering the meeting room and using the public seating area, you are consenting to being filmed and to the possible use of those images and sound recordings.

The Chair of the meeting has the discretion to terminate or suspend filming or recording, if in his or her opinion continuation of the filming, recording or reporting would disrupt or prejudice the proceedings, infringe the rights of any individual, or may lead to the breach of a legal obligation by the Council.

### 2. PLANNING PROTOCOL (PAGES 1 - 34)

The Planning Committee abides by the Council's Planning Protocol 2025. A factsheet covering some of the key points within the protocol as well as some of the context for Haringey's planning process is provided alongside the agenda pack available to the public at each meeting as well as on the Haringey Planning Committee webpage.

The planning system manages the use and development of land and buildings. The overall aim of the system is to ensure a balance between enabling development to take place and conserving and protecting the

environment and local amenities. Planning can also help tackle climate change and overall seeks to create better public places for people to live, work and play. It is important that the public understand that the committee makes planning decisions in this context. These decisions are rarely simple and often involve balancing competing priorities. Councillors and officers have a duty to ensure that the public are consulted, involved and where possible, understand the decisions being made.

Neither the number of objectors or supporters nor the extent of their opposition or support are of themselves material planning considerations.

The Planning Committee is held as a meeting in public and not a public meeting. The right to speak from the floor is agreed beforehand in consultation with officers and the Chair. Any interruptions from the public may mean that the Chamber needs to be cleared.

This item will be for noting.

### **3. APOLOGIES**

To receive any apologies for absence.

### **4. URGENT BUSINESS**

The Chair will consider the admission of any late items of urgent business. Late items will be considered under the agenda item where they appear. New items will be dealt with at item 10 below.

### **5. DECLARATIONS OF INTEREST**

A member with a disclosable pecuniary interest or a prejudicial interest in a matter who attends a meeting of the authority at which the matter is considered:

- (i) must disclose the interest at the start of the meeting or when the interest becomes apparent, and
- (ii) may not participate in any discussion or vote on the matter and must withdraw from the meeting room.

A member who discloses at a meeting a disclosable pecuniary interest which is not registered in the Register of Members' Interests or the subject of a pending notification must notify the Monitoring Officer of the interest within 28 days of the disclosure.

Disclosable pecuniary interests, personal interests and prejudicial interests are defined at Paragraphs 5-7 and Appendix A of the Members' Code of Conduct

### **6. MINUTES (PAGES 35 - 48)**

To confirm and sign the minutes of the Planning Sub Committee held on 6 November 2025 as a correct record.

**7. HGY/2025/1769 - TIMBER YARD, 289-295 HIGH ROAD, WOOD GREEN, LONDON, N22 8HU (PAGES 49 - 206)**

**8. UPDATE ON MAJOR PROPOSALS (PAGES 207 - 218)**

To advise of major proposals in the pipeline including those awaiting the issue of the decision notice following a committee resolution and subsequent signature of the section 106 agreement; applications submitted and awaiting determination; and proposals being discussed at the pre-application stage.

**9. APPLICATIONS DETERMINED UNDER DELEGATED POWERS (PAGES 219 - 244)**

To advise the Planning Committee of decisions on planning applications taken under delegated powers for the period **01.10.2025 – 31.10.2025**

**10. NEW ITEMS OF URGENT BUSINESS**

**11. DATE OF NEXT MEETING**

To note the date of the next meeting as 12<sup>th</sup> January 2026.

Kodi Sprott, Principal Committee Coordinator  
Tel – 020 8489 5343  
Email: [kodi.sprott@haringey.gov.uk](mailto:kodi.sprott@haringey.gov.uk)

Fiona Alderman  
Director of Legal & Governance (Monitoring Officer)  
George Meehan House, 294 High Road, Wood Green, N22 8JZ

Friday, 28 November 2025

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# Planning Protocol 2025

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## 1. PURPOSE OF THE PROTOCOL

- 1.01. This Protocol has been adopted by Haringey Council to explain and supplement the Members' Code of Conduct in relation to planning matters.
- 1.02. Consistency, fairness and openness are important qualities for any regulatory function in the public eye and are vital to the discharge of the Council's planning functions, which adherence to the Protocol is intended to build public confidence in.
- 1.03. The purpose of the Protocol is:
- (a) to explain how Members of the Planning Sub-Committee should exercise the discharge of the Council's functions, including behaviour in relation to applicants, residents and other third parties;
  - (b) to ensure a consistent and proper approach by all Members to the exercise of planning functions;
  - (c) to ensure applicants and their agents, residents and other third parties are dealt with by Members consistently, openly and fairly;
  - (d) to ensure the probity of planning matters and the high standards expected in public office; and
  - (e) to ensure planning decisions are made openly, fairly and in the public interest, in accordance with legislation and guidance.
- 1.04. This Protocol is supplementary to The Members' Code of Conduct in Part Five Section A of the Council's Constitution, which shall all continue to have full force and effect.
- 1.05. Copies of this Protocol will be made publicly available online and will be kept under review.

## 2. PLANNING FUNCTIONS

- 2.01. Planning law requires the Local Planning Authority ("LPA") to determine all planning applications "in accordance with the development plan unless material planning considerations indicate otherwise" (Section 38(6) 2004 Act). The development plan in Haringey comprises the London Plan together with the Council's local plan and when adopted further local plan documents (e.g. area action plans) and if applicable neighbourhood development plans (together "the Development Plan"). In cases of development involving works within a conservation area, or where the development is likely to affect the setting of a listed building, Section 66 of the Planning (Listed Buildings and Conservation Areas) Act

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1990 contains a duty on the Council to the desirability of preserving the listed building or its setting and Section 72 of that Act requires LPAs to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area. In accordance with the NPPF, in assessing and determining development proposals, LPAs should apply the presumption in favour of sustainable development.

- 2.02. The responsibilities of the LPA must be performed without undue influence or consideration of a personal interest. When determining planning applications Members must only take into account the Development Plan and any material planning considerations. The Members of the authority are elected to represent the interests of the whole community in planning matters. Views relating to material planning considerations expressed by neighbouring occupiers, local residents and any other third parties must be taken into account but local opposition or support for a proposal is not in itself a ground for refusing or granting planning permission.
- 2.03. The planning system does not exist to protect the interests of one person against the activities of another. The issue is not whether owners and occupiers of neighbouring properties would experience financial or other impacts as a result of a particular development, but whether the proposal would unacceptably affect amenities and the existing use of land and buildings which ought to be protected in the public interest.

**Administration of Planning Functions in Haringey**

- 2.04. The performance of the Council's planning function is largely delegated to the Planning Sub-Committee, and to officers of the Council pursuant to arrangements made under Section 101 of the Local Government Act 1972. Approximately 9 out of 10 planning decisions in Haringey are made by officers, through authority delegated to them by the Council. This level of delegated decision making is consistent with other Councils across the Country and allows the majority of planning decisions to be determined promptly, allowing Members of the Committee to focus on the most significant and controversial proposals.
- 2.05. The Planning Sub-Committee will receive, for its information, a regular report identifying the planning applications which have been determined by officers under the scheme of delegation, and the decisions thereon.

**Planning Applications by Councillors or Officers of the Council**

- 2.06. When a planning application is submitted by a serving member; or senior officers (Senior Leadership Structure); or officers within the Planning & Building Standards directorate; or by a close relative or a close friend of either an officer or member; or by a member acting as agent for the applicant, the member or officer concerned will:

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- take no part in the processing and determination of the application; and
- advise the Monitoring Officer and the Director/Head of Service of the application.

2.07. The report of the Director/Head of Service will include confirmation from the Monitoring Officer that these requirements have been met.

**Planning Applications by the Council**

2.08. Subject to the provisions of the Town and Country Planning General Regulations 1992 planning applications made by or on behalf of the Council will be treated in the same way as those made by or on behalf of private applicants.

**Referring applications to the Planning Sub-Committee**

2.09. All Members of the Council receive copies of the weekly list detailing the applications that have been received.

2.10. Any Member and/or a local community body and/or a local residents association may request that an application is determined by the Planning Sub-Committee instead of officers under delegated authority by notifying in writing, within the statutory consultation period for the application, the Director of Planning & Building Standards/Head of Service stating the planning reasons for such request.

2.11. The Director of Planning & Building Standards or the Head of Service shall, in consultation with the Chair of the Planning Sub-Committee, determine whether the request should be granted and the application referred to the Planning Sub-Committee to determine. In determining whether to grant a request, officers and the Chair of the Planning Sub-committee shall have regard to whether the:

- proposal is a significant development which has caused substantial local interest;
- officer recommendation is for approval contrary to policy in the Development Plan or other adopted guidance; and
- application is recommended for approval<sup>1</sup>.

2.12. The Director/Head of Service may also exercise their judgement, in consultation with the Chair of the Planning Sub Committee, to refer a matter to the Planning Sub-Committee rather than be determined through officer delegation, even if a Member has not requested this,

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<sup>1</sup> Applications that are to be refused by officers under delegated authority will not normally be determined at Planning Sub-Committee

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pursuant to paragraph 2.07 of Section 1 of Section E (Scheme of Delegation) of Part Three of the Council's Constitution.

### **3. THE MEMBERS' CODE OF CONDUCT**

3.01. The Members' Code of Conduct ("the Code of Conduct" Part 5 Section A) applies to Members of the Planning Sub-Committee as to all Members of the Council. The parts of the Code of Conduct on personal and prejudicial interests, the register of those interests and receipt of gifts and hospitality are particularly relevant. Members of the Sub-Committee should also have regard to the general principles of conduct when exercising their planning functions.

### **4. CONDUCT OF MEMBERS OF PLANNING SUB-COMMITTEE**

#### **Training**

4.01. No Member of the Planning Sub-Committee nor any substitute Member shall attend a meeting of the Sub-committee as a voting member unless training regarding the planning system has been undertaken and thereafter at least 5 hours of training is undertaken per municipal year.

#### **Open and fair decisions**

4.02. For a decision to be open and fair:

- Those taking the decision should not be biased or have pre-determined how they will decide;
- Those taking the decision should not have a disclosable pecuniary interest or prejudicial interest (see below for further information about these) in the outcome;
- Previous decisions may be a material consideration; and
- The reasons for the decisions should be clearly set out.

#### **General Principles including Bias and Predetermination**

4.03. With regard to decision making:

4.04. Do comply with section 38(6) of the Planning and Compulsory Purchase Act 2004 and make decisions in accordance with the Development Plan unless material considerations indicate otherwise.

4.05. Do consider open and impartial professional advice from their Planning Officers. Do make planning decisions having considered the written officers' report and their advice at the Sub-committee.

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- 4.06. Do come to your decision only after due consideration of all of the information reasonably required upon which to base a decision.
- 4.07. Don't take a decision regarding a planning application with a closed mind or inclination or prejudice for or against a party or interest to avoid legal challenges on the ground that a Member had pre-determined their decision or where perceived to be or where biased.
- 4.08. Do be aware that in your role as an elected Member you are entitled, and are often expected, to have expressed views on planning issues and that these comments have an added measure of protection under the law. Your prior observations, apparent favouring or objections in respect of a particular outcome will not on their own normally suffice to make a decision unlawful and have it quashed, but you must never come to make a decision with a closed mind.
- 4.09. Where any Member makes representations in support or objection to the 'Planning Service', in writing or orally, in relation to any application, those representations will be recorded for inclusion in the officers' report. Where these representations constitute a closed mind on the development, the Member will not take part in the deliberations of the Sub-Committee but may exercise the rights of a Ward Member. Where you do:
- advise the proper officer or Chair that you wish to speak in this capacity before commencement of the item;
  - remove yourself from the seating area for members of the Committee for the duration of that item;
  - remove yourself from the room when you are not exercising your speaking rights or answering questions from Committee members; and
  - ensure that your actions are recorded in accordance with the Authority's committee procedures.
- 4.10. You are entitled to be predisposed to make planning decisions in accordance with your political views and policies provided that you have considered all material considerations and have given fair consideration to relevant points raised.
- 4.11. Section 25 of the Localism Act 2011 provides that a decision maker is not to be taken to have had, or appeared to have had, a closed mind when making the decision just because:
- the decision maker had previously done anything that directly or indirectly indicated what view the decision maker took, or would or might take, in relation to a matter; and
  - the matter was relevant to the decision.

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- 4.12. This provision does not change the law on bias and pre-determination which means that Sub-Committee Members must still take planning decisions with an open mind and having taken into account all relevant material planning considerations. What s.25 does provide is that statements made by Members cannot be used in court as evidence that the Member in question had or appeared to have a closed mind. Other evidence or any evidence that a Member has taken into account irrelevant considerations, however, is not so restricted by s.25.
- 4.13. Notwithstanding the s.25 provisions, the safest course is for Sub-Committee Members to avoid making public statements (including expressing views in emails) as to their support for or opposition to any application which would indicate they had made up their minds before the formal consideration of the application at the meeting. If a Sub-Committee Member has made such a statement they must be satisfied that they can still consider the application with an open mind and are prepared to take into account any new matters or any new arguments in favour of or against the proposed development until the decision is made otherwise they should not take part in any decision on the application in question. In which case it is to be treated the same as any other prejudicial interest, as will cases of perceived bias, and the Member shall declare this interest and leave the room for the item in question as set out below.

**Declaring an interest**

- 4.14. Members shall declare any disclosable pecuniary interest or prejudicial interest in any application on the agenda for a Planning Sub-committee meeting before any application is considered at a meeting like at other Council committee meetings and shall withdraw from the meeting room as it is not possible to participate in any discussion or vote on an application if a Member has such interest as set out in paragraphs 9.3 and 10.1 of the code.
- 4.15. When declaring an interest a Member must describe the nature of that interest and how it relates to an application as outlined in See paragraphs 4, 6, 7 and 8 of the code.

**Disclosable pecuniary interests**

- 4.16. 'Disclosable pecuniary interests' are prescribed by the Relevant Authorities (Disclosable Pecuniary Interests) Regulations 2012 and are set out in Appendix A to the Code of Conduct. The categories of disclosable pecuniary interests include employment or office, interests in land in the Borough and contracts with the Council.
- 4.17. An interest is a 'disclosable pecuniary interest' if it is of a type described above and it is an interest of the Member or of their spouse or civil partner, a person with whom they are living as husband and wife or a



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person with whom they are living as if they were civil partners and the Member is aware of the interest. Members should note the criminal sanctions for failure to comply with these requirements (as outlined in Appendix B of the Code of Conduct).

**Other interests**

- 4.18. A Member may have other interests such as ‘Personal’ interests which it is advised, be declared in the public interest. For example, such an interest may arise where the Sub-Committee Member resides near a development which is the subject of the planning application under consideration.
- 4.19. All Members who are not members of the Planning Sub-committee shall, if in attendance at a meeting of the Planning Sub-committee, declare any disclosable pecuniary interest or prejudicial interest in an application on the agenda for a meeting.
- 4.20. Members should seek advice from the Monitoring Officer in advance of a Planning Sub-Committee meeting if they are not clear whether a declaration of interest should be made at a meeting of the Sub-committee or where that is not possible, advice should be sought from the legal officer in attendance at the Planning Sub-committee meeting so that they can decide whether or not they have an interest which means they cannot participate in the consideration of a planning application which the interest relates to.

**Council Owned Land**

- 4.21. The Planning Sub-Committee from time to time considers applications involving land owned or recently owned by the Council. Members will consider carefully whether they should take part in the deliberations of the Sub-Committee on an application, involving that land, where they took part in any decision of the Cabinet or other Council body in relation to the land. They will take into account whether an observer with knowledge of all the relevant facts would suppose that there might be any possibility that the involvement in the decision on the land could amount to reaching prior conclusions on the planning issues, or otherwise adversely affect the Member's judgement in any way.
- 4.22. Any Member, whether or not a Member of the Cabinet, will take great care in the consideration of applications, or local plan proposals, affecting land owned or recently owned by the Council to ensure that the planning decision is made and seen to be made solely on planning grounds.

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**Consistency**

- 4.23. Previous decisions may be a material consideration. The Sub-Committee report will set out the relevant considerations and will draw attention to decisions on any other similar cases where appropriate.

**Party political whips**

- 4.24. Planning decisions cannot be made on a party political basis. The use of political whips to seek to influence the outcome of a planning application is likely to be regarded as maladministration. Political Meetings can never dictate how Members vote on a planning issue.

**Members' engagement with planning decisions**

- 4.25. Members will want to actively and positively engage with planning decisions. All Members can:
- advise objectors/applicants/others on planning processes and how to get involved;
  - give advice about adopted planning policies and local priorities
  - direct lobbyists, applicants or objectors to the relevant planning officer so that their opinions can be included in the officer's report;
  - lead on local discussions in the preparation of the development plan documents, area action plans and supplementary planning documents;
  - provide input into the preparation of planning briefs and guidance;
  - receive and pass on information, for example weekly lists and briefings from officers on key proposals;
  - attend Planning Forum meetings, ask questions there; and
  - raise issues important to local people and to the applicants.
- 4.26. To ensure that Members and the Council are not open to challenge Members should:
- preface relevant discussions with a disclaimer; the nature of this will depend on their role within the authority in the context of planning;
  - clearly indicate that any discussions with them are not binding on the Council;
  - be clear about the distinction between giving advice and engaging in negotiation so only engaging in the former;
  - involve officers where this will help to safeguard transparency and the appearance of bias;
  - be aware of relevant policies included in the Council's adopted plans but give consideration to other matters relevant to planning; and
  - seek the advice of the Monitoring Officer when they are unsure of what they are able to do and in relation to any potential "interest".

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4.27. Members should not:

- expect to lobby and actively support or resist an application/decision and subsequently vote at Committee or Cabinet; or
- seek to put undue pressure on officers or Members of a deciding Committee to support a particular course of action in relation to a planning application or other planning decision and should not do anything which compromises, or is likely to compromise, the officers' impartiality or professional integrity.

4.28 This does not mean that a Councillor may not question robustly or argue forcefully for a particular course of action.

**Discussions and negotiations while the application is current but prior to determination**

4.29. Once an application has been submitted, officers are working to strict deadlines to ensure that the application can be efficiently and properly determined. They may, during that period, enter into discussions, and sometimes negotiations, with the applicant or their agent in order to clarify aspects of the scheme or to ensure that the applicant is aware of the council's policy requirements. Sometimes such discussions will also convey to an applicant the views of third parties or consultees.

4.30. At this stage it is not appropriate for Members, whether or not they are on the Planning Sub-Committee, to enter into direct discussions and /or negotiations with applicants or consultees. Members should recognise the clear distinction between negotiation and listening without prejudice to views which may be expressed to them (see the section on Lobbying below). For Members to enter into negotiations whilst an application is current at best sends a confused message to applicants and consultees about who is officially speaking on behalf of the Council, and at worst will without doubt result in the Member appearing to show bias or pre-disposition. However, this does not prevent Members at this stage asking officers for information about an application, or from passing on the views of constituents or others, indeed this would be a proper area of Member activity. Members should at the same time ensure that any requests for advice or interpretation are passed to officers.

**Approaches by applicants to Members**

4.31. Members of the Planning Sub-Committee will discourage any applicant or agent, or other interested party such as a landowner from approaching them directly in any way in relation to planning proposals. If an approach is received, the Member will take care not to give any commitment, or the impression of a commitment that he or she holds any particular view on the matter.

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4.32. If an approach is received by a Member of the Planning Sub-Committee from an applicant or agent or other interested party in relation to a particular planning application, then the Member will:

- (a) Inform the applicant that such an approach should be made to Officers of the Council;
- (b) Keep an adequate written record so as to enable the Member to disclose the fact of such an approach if and when the application or proposals is considered by the Planning Sub-Committee; and
- (c) Disclose the fact and nature of such an approach at any relevant meeting of the Planning Sub-Committee.

In this context an approach should be noted where the discussion extends beyond simple information to the merits or demerits of the particular proposals.

4.33. Where a Member of the Planning Sub-Committee receives written representations directly in relation to a planning application, the Member will pass the correspondence to the Director/Head of Service in order that those representations may be taken into account in any report to the Planning Sub-Committee.

**Lobbying and representations**

4.34. The proper place for supporters to make comments or objectors to raise their concerns is in writing in response to public consultation on a planning application or by making representations at a Sub-Committee meeting. Sub-Committee Members may nevertheless receive lobbying material through the post or by email from either the applicant or the objectors or be approached personally by interested parties. In dealing with such approaches, it is important for Sub-Committee Members not to do or say anything that could be construed as bias or pre-determination.

4.35. Where Sub-Committee Members receive lobby material through the post or by email they should forward it to the Director/Head of Service. If Sub-Committee Members feel it is necessary to acknowledge receipt of or comment on the correspondence, they should consider the advice on bias or predetermination in this Protocol and should send a copy of their response to the Director/Head of Service.

4.36. If a Sub-Committee Member is approached by an individual or an organisation in relation to a particular planning application, they may listen to what is said but they should explain that because they are a Member of the Sub-Committee they must keep an open mind until they have seen all the material before the Sub-Committee. A Sub-Committee Member might suggest that the individual or organisation should:

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- Where an application is not yet on a Sub-Committee agenda, write to the Planning Officer responsible for the particular case who will take into account any material planning considerations raised in the representations when preparing a report for the Sub-Committee; or
  - If the application is already on a Sub-Committee agenda, contact the Sub-Committee Clerk to make a request to speak at the Sub-Committee meeting.
- 4.37. In either case contact another Member who is not a Sub-Committee Member to seek their support. Generally speaking, this should be the Ward Councillor for the Ward within which the application is made.
- 4.38. If a Sub-Committee Member does decide to become involved in organising support for or opposition to a planning application or has offered an opinion on a planning application, then that Sub-Committee Member must take into account the advice on bias or predetermination in this Protocol. If after considering that advice the Sub-Committee Member comes to the view that on an objective assessment they cannot sit on the Sub-Committee and decide the application with an open mind, they should not be part of the Sub-Committee that decides the application. They can however attend the Sub-Committee meeting and speak on their constituent's behalf and adopt the role of local Member rather than decision maker.

**Residents/Local Groups/Other Occupiers**

- 4.39. If a Member of the Planning Sub-Committee is approached by local residents, business or other occupiers in relation to an application, which the residents or others wish to object to or support, the Member will listen to the views but will take care not to give any commitment, or the impression of a commitment that they hold any particular final view on the application.
- 4.40. Members of the Planning Sub-Committee will:
- (a) Encourage the interested party to contact another Ward Member or other elected Member who is not a Member of the Planning Sub-Committee;
  - (b) In the case of significant meetings on planning matters keep an adequate written record so as to enable the Member to disclose the fact of such an approach if and when the application or proposals is considered by the Planning Sub-Committee; and
  - (c) Disclose the fact and nature of significant discussions at and relevant meeting of the Planning Sub-Committee.

In this context "significant" would include any meetings or discussions which consider the merits or demerits of the particular proposals extended beyond simple information.

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- 4.41. Meetings and discussions with constituents are an important part of a Ward Member's functions, and this Protocol is not intended to harm those contacts unnecessarily. Members of the Planning Sub-Committee should avoid taking an active role in meetings to promote residents' objections to applications. Nothing in this Protocol prevents Members from listening to local concerns, giving factual information about an application or the planning process, or from directing residents to other sources of information or assistance.
- 4.42. Where a Member of the Planning Sub-Committee receives written representations directly in relation to a planning application, the Member will pass the correspondence to the Director/Head of Service in order that those representations may be taken into account in any report to the Planning Sub-Committee.

**'Decision Maker' role**

- 4.43. A Councillor who is a Member of the Planning Sub-Committee or a suitably trained substitute and who takes part (or who intends to take part) at a meeting of the Planning Sub-Committee in the determination of particular Planning Application will for the purposes of this Protocol be a "Decision Maker" in relation to such Planning Application.
- 4.44. A Councillor who is a Decision Maker shall comply with the provisions of the Code of Conduct generally.

**'Local Member' role of a Planning Sub-Committee Member**

- 4.45. Where a Planning Sub-Committee Member wishes to make representations on behalf of his/her constituent(s), for the purposes of this Protocol he/she will be a "Local Member" in relation to that planning application. He/she may attend a meeting of the Planning Sub-Committee to make representations about the planning application on behalf of their constituents
- 4.46. A Councillor who is a Local Member shall comply with the Public Speaking Provisions and the Code of Conduct generally. Further provisions relating to the "Local Members" role are also contained in the next following section.

**Non Planning Sub-Committee /Local Ward Member role**

- 4.47. Subject to the provisions of the Code of Conduct generally a Councillor who is not a Member of the Planning Sub-Committee (whether or not he/she plays or intends to play the role of "Local Member") will be free to:
- discuss any planning application with the applicant / agent / objector / lobby group;

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- attend any locally organised meeting concerning the application;
- attend any meeting concerning the application and speak about the application (including expressing a view either for or against the application);
- relay relevant information about the application to a planning officer;
- seek information/clarification about the application from a planning officer; and
- should follow the rules on lobbying in accordance with this Protocol.

**Effect of Prejudicial etc Interests**

4.48. Where a Member of the Planning Sub-Committee has had any personal involvement with an applicant, agent or interested party, whether or not in connection with a particular application before the Planning Sub-Committee, or any other personal interest which an observer knowing the relevant facts would reasonably regard as so significant that it was likely to prejudice the Member's judgement of the public interest, then the Member will declare a prejudicial interest in accordance with the provisions of the Code of Conduct (Part 5 Section A of the Council's Constitution). The Member must abstain from discussion and voting on the matter and leave the room while that application or other matter is under discussion except as provided below. The Member must also avoid any attempt to influence the decision improperly.

4.49. A Member declaring a prejudicial or any other interest that precludes their determination of an item may attend during that item but only for the purposes of making representations about the matter, answering questions or giving evidence about it and then only when the meeting is open to the public. Otherwise the Member must leave the room while that application or other matter is under consideration.

**Social Contacts**

4.50. Members of the Planning Sub-Committee will minimise their social contacts with known applicants and refrain altogether from such contacts when developments are known to be contemplated or applications are being proposed, or where controversial decisions are likely to be needed.

**Hospitality**

4.51. Members of the Planning Sub-Committee will reject any offers of gifts, hospitality or future favours made personally or by way of deals for the Council or the community, from lobbyists. Any such improper approach will be reported immediately to the Chief Executive.

## 5. MEETINGS AND BRIEFINGS

### Briefings to Members from applicants

- 5.01. Enabling an applicant to brief and seek the views of elected Members about planning proposals at an early stage (usually pre-application or where this is not possible, very early in the formal application period) is important in ensuring that new development is responsive to and reflects local interests/concerns where possible. Early Member engagement in the planning process is encouraged and supported by the NPPF, the Local Government Association Planning Advisory Service guidance on Probity in Planning (2019) and the Royal Town Planning Institute Practice Advice on Probity and the Professional Planner (2020).
- 5.02. Haringey proposes to achieve this objective through formal briefings of relevant Cabinet Members and the Planning Sub-Committee in accordance with procedures set out in this Protocol. Cabinet and Sub-Committee Members taking part in such briefings should do so in their strategic borough-wide capacity rather than in their local ‘ward’ capacity. No decision will be taken at such meetings and the final applications will be the subject of a report to a future meeting of the Sub-Committee.
- 5.03. The purpose of briefings are:
- To enable Members to provide observations that support the development of high quality development through the pre-application process, and avoid potential delays at later stages;
  - To enable Members to highlight strategic Council and Local Plan objectives and requirements set out in planning policy or guidance that are particularly relevant to an application;
  - To ensure Members are aware of significant applications prior to them being formally considered by the Planning Sub-Committee;
  - To make subsequent Planning Sub-Committee consideration more informed and effective;
  - To ensure issues are identified early in the application process, and improve the quality of applications; and
  - To ensure Members are aware when applications raise issues of corporate or strategic importance.
- 5.04. What sort of presentations would be covered in the briefings?
- Presentations on proposed large-scale developments of more than 50 homes, or 5,000 sq m of commercial or other floorspace or which includes significant social, community, health or education facilities, or where the Director/Head of Service considers early discussion of the issues would be useful; and
  - Presentations on other significant applications, such as those critical to the Council’s placemaking programmes, significant Council



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developments, or those requested by the Chair of the Sub-Committee.

Applicant's briefings to relevant Cabinet Members and the Chair "Strategic Planning Briefings"

5.05. Frequency and timings of meetings

As required by agreement with the Leader of the Council / Cabinet Member with responsibility for Planning and Director/Head of Service.

5.06. Invitees to meetings

- Relevant Cabinet Members which could include:
  - The Leader of the Council;
  - The Cabinet Member with responsibility for Planning;
  - The Cabinet Member with responsibility for Placemaking;
  - Other relevant Cabinet Members;
- Chair of the Planning Sub-Committee;
- Director of Planning & Building Standards;
- Head of Service;
- Other relevant officers.

5.07. Format of the meetings

- The meeting will be chaired by either the Leader of the Council or the Cabinet Member with responsibility for Planning who will ask Members attending to disclose any relevant interests; and
- The applicant will supply presentation materials including any models;
- Officers to introduce the proposal and advise of issues arising from the Planning Forum (where this has taken place):
- The applicant will be invited to make a presentation of up to 15 minutes;
- Members will be able to highlight strategic objectives of the Local Plan and ask questions to the applicant and officers. These questions will be restricted to points of fact or clarification and must be structured in a way that would not lead to a Member being perceived as taking a fixed position on the proposals;
- Summary of the comments raised.

5.08. These meetings would not be held in public to respect the confidentiality of the pre-application process and protect applicants' commercial interests but a short note of the meeting summarising Members' comments would be made. If and when a planning application relating to the proposal discussed is submitted, the note of the meeting would be published as part of the publicly-accessible planning application file and reported to the Planning Sub-Committee when any subsequent proposal is submitted for determination. This is to ensure transparency and full consideration of the facts when a decision is made.

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Applicant's briefings to Planning Sub-Committee "Pre-application briefings to Committee"

5.09. Frequency and timings of meetings

Once a month or by agreement with the Chair and Director/Head of Service.

5.10. Invitees to meetings

- All Members of the Planning Sub-Committee;
- Relevant Cabinet Members;
- Ward Members;
- Local amenity groups;
- Director;
- Head of Service;
- Other relevant officers.

5.11. Format of the meetings

- The meeting will be chaired by the Chair of the Planning Sub-Committee who will ask Members attending to disclose any relevant interests; and
- The applicant will supply presentation materials including any models;
- Officers to introduce a report, the proposal and advise of issues arising from the Planning Forum (where this has taken place);
- The applicant will be invited to make a presentation of up to 15 minutes or longer if agreed by the Chair due to the scale or complexity of the proposal;
- Ward Members will have the opportunity to give their views for a maximum of three minutes each.
- The Cabinet Members will have the opportunity to give their views for a maximum of three minutes each.
- Members of the Planning Sub-Committee will be able to highlight strategic objectives of the Local Plan and ask questions to the applicant and officers. These questions will be restricted to points of fact or clarification and must be structured in a way that would not lead to a Member being perceived as taking a fixed position on the proposals;
- Comments of Members of the Planning Sub-Committee; and
- Summary of the comments raised.

5.12. These meetings are held in public and are webcast although there are no public speaking rights including amenity groups.

5.13. A short note of the meeting summarising Members' comments would be made. If and when a planning application relating to the proposal discussed is submitted, the note of the meeting would be published as

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part of the publicly-accessible planning application file and reported to the Planning Sub-Committee when any subsequent proposal is submitted for determination. This is to ensure transparency and full consideration of the facts when a decision is made.

- 5.14. Applicant participation in the Applicants' briefings to Planning Sub-Committee would not normally happen prior to a Planning Forum or other public meeting or public consultation being held relating to the site or prior to attendance at the Quality Review Panel subject to programming and scheduling pressures.
- 5.15. Comments and questions can be raised, and this can also include positive engagement about the proposed development. However, Members should ensure that they are not seen to pre-determine or close their mind to any such proposal as otherwise they may then be precluded from participating in determining the application.

### Planning Forum

- 5.16. The Council has established a Planning Forum to facilitate the discussion of large-scale or contentious planning proposals. The forum does not reach a decision about a proposal. Its purpose is to allow participants to raise issues of concern and obtain answers to questions about the particular application. The aim is to allow early discussion by Members and members of the public on planning issues related to these planning proposals and to explore the scope for agreement between all parties in a positive and constructive way prior to the later decision being made at the Planning Sub-Committee. Forum meetings will usually take place prior to the submission of an application but can take place at an early stage of the formal process before the Planning Sub-Committee meeting. They do not remove the opportunity for objectors, supporters and applicants to address the Planning Sub-Committee when an application is to be determined or the holding of exhibitions and or public meetings where these are considered appropriate.

### What applications does the forum consider?

- 5.17. Applications that may be considered by the forum include major applications and those of significant local interest. It is not possible to prescribe the exact type of proposals but they may include the following:
- Applications which involve more than 50 homes or over 5,000 sq m of floor space;
  - Those that do not meet the threshold above but are likely to generate significant local interest
  - Those applications that involve a major departure from the Council's planning policy; or
  - Those applications that involve tall buildings i.e. over 6 storeys.

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5.18. Applications that will not generally be considered by the forum include:

- Minor planning applications to alter or extend houses;
- Applications to confirm whether a use of land or buildings needs planning permission (a ‘lawful development certificate’);
- Applications to put up advertisements;
- Amendments to applications or those which have already been the subject of a forum discussion; or
- Applications where there will be a recommendation for refusal.

5.19. A forum meeting will be held when the Director/Head of Service, in consultation with the Chair of the Planning Sub-Committee, considers that a forum would be beneficial in resolving issues on a particular planning proposal. For forum meetings held at the pre application stage site notices and emails to local groups and councillors will be sent advising them of a proposed meeting. For those meetings held following the submission of a planning application consultees will be advised in accordance with the Council’s consultation policy as set out in the Council’s Statement of Community Involvement (SCI) in force at the time as part of the consultation on the planning application.

Who can attend?

5.20. Meetings are open to all Members, local businesses and residents. Normally one application or proposal will be considered at each forum to allow for effective discussion. To assist the running of the meeting an agenda is prepared and a short briefing note on the proposal is available.

5.21. The format of the meeting is as follows:

- A senior planning officer chairs the forum. They ensure that all planning issues arising from the proposal are raised. Planning officers provide information on the progress of the proposal.
- The applicant is invited to make a presentation of the proposal for a maximum of 15 minutes.
- Local residents and organisations have an opportunity to present their views either for or against the proposal.
- The applicant responds to questions from Members of the Planning Sub-Committee, ward councillors and local business and residents.

5.22. An attendance record is kept and a note of the meeting is made. If and when a planning application relating to the proposal considered by a Planning Forum is submitted the note of the meeting would be published as part of the publicly-accessible planning application file and is reported to the Planning Sub-Committee when any subsequent proposal is submitted for determination. This is to ensure transparency and full consideration of the facts when a decision is made.

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All Members

- 5.23. All Members can attend Planning Forum meetings which are called to promote early exploration of issues relevant to a particular development. They do not seek to reach any decision about the likely outcome of an application.
- 5.24. The particular role that Members can play at the meetings is dependent on whether or not they have a formal role within the planning system of the authority, for example are a Member of Planning Sub-Committee or the Cabinet, but all Members will need to take account of the generic guidelines for example, publicly clarifying their particular role.
- 5.25. All Members can:
- use the meeting to understand the development, the issues important to local people and to the applicant, and how the relevant policies are being applied by asking questions;
  - give advice about adopted planning policies and local priorities and clarify or seek clarification of policies and priorities;
  - give advice about planning processes or direct those present to relevant officers or other sources of advice and information both present or outside the meeting;
  - refer local objectors or supporters to ward colleagues who are in a position to take a wider role if theirs is limited and further Member assistance is required; and
  - seek advice from officers as to the process to be followed, issues being reviewed and the likely policy position.
- 5.26. Members should not use the forum to undertake negotiations or appear to put undue pressure on the officers in relation to any future decision on the scheme. Members are however entitled to robustly question applicants and officers in order to fully understand issues before the forum.

Ward Members

- 5.27. Ward Members who are not on the Planning Sub-Committee can greatly assist this process by taking an active part in the forum meeting, asking questions, commenting on planning policies and local priorities, and advising on the planning process. They can usefully draw attention to local circumstances and issues, and comment on the appropriate weight to be given to those. It will be important that Ward Members ensure that their remarks and advice are based on adopted Council planning policies as far as possible. This is important to avoid creating any confusion in the minds of applicants or local people about who speaks for the Council in negotiations or about the Council's negotiating position.

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**Quality Review Panel**

- 5.28. As part of the pre-application process for major and /or sensitive applications, the Council encourages applicants to present their proposals to the Quality Review Panel. The panel is a group of independent and objective experts, including experienced architects and other built environment professionals, who meet on a regular basis. The Panel's advice is provided for the benefit of the Planning Sub-Committee. The advice will also be used to help officers and the applicant to improve upon the quality of the scheme as it evolves.
- 5.29. The best design outcomes generally occur when schemes are presented to the panel at the pre-application stage, as this allows applicants sufficient time to amend proposals following panel feedback.
- 5.30. If and when a planning application relating to the proposal presented to the Quality Review Panel is submitted, the note of the meeting would be published as part of the publicly-accessible planning application file and reported to the Planning Sub-Committee when any subsequent proposal is submitted for determination. This is to ensure transparency and full consideration of the facts when a decision is made.

**6. MEMBERS NOT ON PLANNING SUB-COMMITTEE**

- 6.01. The Code of Conduct applies to all Members of Council. The parts of the Protocol which will be particularly kept in mind as a general context for the exercise of planning functions are set out above.
- 6.02. Where any Member submits representations in writing or orally in relation to any matter before the Sub-Committee those representations will be recorded for inclusion in the officer's report.
- 6.03. Councillors who are not Members of the Planning Sub-Committee may attend meetings of the Sub-Committee, and may address the Sub-Committee, the Committee Procedure Rules (Part 4 Section B of the Council's Constitution) will apply. This requires the Member to give written notice to the Chair of the Sub-Committee of his/her attendance, preferably before the meeting but in any event as soon as the Member arrives at the meeting. In order to promote efficient business of the Sub-Committee, and in order to give certainty to the applicant of the time available for speaking, Members are asked to register their intentions to speak by midday on the working day prior to Sub-Committee with the Sub-Committee Clerk.
- 6.04. Where a Councillor who is not a Member of the Planning Sub-Committee has had any personal involvement with an applicant, agent or interested party, whether or not in connection with a particular application before the Planning Sub-Committee, or has any other personal interest which an observer knowing the relevant facts would reasonably regard as so

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significant that it was likely to prejudice the Member's judgement of the public interest then the Member will declare a prejudicial interest in accordance with the provisions of the Code of Conduct. The Member may only attend the meeting as provided in paragraph 6.05 below. The Member must also avoid any attempt to influence the decision improperly.

- 6.05. A Member declaring a prejudicial interest may attend the meeting but only for the purposes of making representations for or against the relevant application, answering questions or giving evidence about it and only when the meeting is open to the public. Otherwise the Member must leave the room while that application or other matter is under consideration.
- 6.06. Where an approach has been received by an elected Member (not being a Member of Planning Sub-Committee) from an applicant, agent or other interested party in relation to a planning application, that Member will, in any informal discussions with any Member of the Planning Sub-Committee, disclose the fact and nature of such an approach and have regard to the matters set out at paragraph 7.01 below.

## **7. OTHER CONDUCT OUTSIDE COMMITTEES**

- 7.01. In discussions between Members generally and Members of the Planning Sub-Committee (at party group meetings or other informal occasions) Members will have regard to: -
- (a) the principles governing the conduct of Members set out in the Code of Conduct.
  - (b) the principles governing the conduct of Members of Planning Sub-Committee set out in this Protocol.
  - (c) the obligations placed on Members of the Planning Sub-Committee not to give commitments in relation to any planning application prior to consideration of the full officer report, advice and representations at the Sub-Committee meeting dealing therewith.

## **8. SANCTIONS**

- 8.01. Please refer to the Complaints Against Members Protocol for the complaint procedure against Members and possible sanctions where there is an alleged breach of this Protocol and the Code of Conduct.

## **9. MEMBERS AND OFFICERS OF THE COUNCIL**

### **The role of elected Members**

9.01. In respect of any planning application Members will:

- declare any pecuniary or non-pecuniary interest and take no part or a restricted part, as appropriate, in the processing and determination of the planning application;
- act impartially and honestly;
- approach each application with an open mind;
- take into account and carefully weigh up all relevant issues;
- determine each application on its own merits and in accordance with the requirements of planning law and the guidance of planning policy;
- avoid inappropriate contact with interested parties (see also the section on lobbying); and
- ensure the reasons for their decision are recorded in writing.

### **The role of officers**

9.02. Officers in their role of advising and assisting elected Members in their determination of planning applications will provide:

- impartial and professional advice;
- consistency of interpretation of the planning policies; and
- complete written reports which will include:
  - a clear and accurate analysis of the issues in the context of the relevant development plan policies and all other material considerations;
  - the substance of the representations, objections, and views of all those who have been consulted;
  - a clear written recommendation of action and where that recommendation is contrary to the development plan, the material considerations which justify the departure; and
  - all necessary information for the decision to be made.

9.03. Members should not put any pressure on officers for a particular recommendation and, as required by the Code of Conduct or the Protocol on Member/ Officer Relations (Part Five Section B of the Council's Constitution), should not do anything which compromises, or is likely to compromise, their impartiality. Members should recognise that officers are part of a management structure and should address any concerns which they may have about the handling of a planning application to a departmental manager at the appropriate level of seniority. In general, however, officers and Members should adopt a team approach to the determination of planning proposals, and should recognise and respect each other's different roles.



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- 9.04. In common with Members generally, all Members of the Planning Sub-Committee may contact the relevant Planning Officer to seek information in relation to any planning application.
- 9.05. Members of Planning Sub-Committee will not attempt in any way to influence the contents of the Officer's report or the recommendation made on any matter. Representations made by Members whether or not in writing will be recorded by the relevant officer and included in the report.
- 9.06. Any criticism of Planning Officers by Members of the Planning Sub-Committee shall be made in writing, to the Director or the Head of Service and not to the Officer concerned. Members will endeavour to avoid any public criticism of officers but this does not prevent Members asking officers proper questions.

**Contact between Members and officers**

- 9.07. Involving Members early and throughout the application and determination process leads to better Committee meetings, better decisions and better developments. Pre-Committee meetings between officers and the Chair and other senior Members can enable strategic applications to be highlighted and procedural Committee issues agreed. Other contact is described elsewhere in this protocol including Planning Committee briefings.

**10. PROTOCOL FOR PLANNING SUB-COMMITTEE MEETINGS**

**At Committee**

- 10.01. The responsibilities of Members of the Planning Sub-Committee in considering planning matters are set out above. At the Sub-Committee, Members will, in particular, avoid expressing any view on the matters under consideration until the report has been presented, any other relevant advice is given, and all oral representations have been heard. In order to participate and determine an item, Members must be present for the entire duration and not miss any part of that item.

**Legal Advice**

- 10.02. The Director of Legal and Governance / Monitoring Officer will ensure that a suitably experienced legal officer is present at all Sub-Committee meetings to give legal, governance and procedural advice.
- 10.03. Members need to be mindful of the rules on declarations of interests and if Sub-Committee Members or other Members require advice about possible disclosable pecuniary interests or other interests or if Sub-Committee Members are in any doubt as to whether they have

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expressed a view that could give rise to the appearance of bias or that they have pre-determined a matter they may seek advice from the Monitoring Officer in advance of the Sub-Committee meeting. If that has not proved possible they should seek advice from the legal officer to the Sub-Committee before the meeting starts. Once advice has been given, it is up to the Member to make their own decision on whether or not they have a declarable interest and whether or not they can participate in the decision.

**The Sub-Committee meeting**

- 10.04. Planning Sub-Committee meetings generally start at 7.00pm and the Council's standing orders provide that they will end at 10.00pm except that discussion of the specific item or case in hand at 10.00pm may continue thereafter at the discretion of the Chair.
- 10.05. There are 11 Members of the Sub-Committee. The quorum for making a decision as set out in the Council's constitution is at least one quarter of the whole number of voting Members are present i.e. at least 3.
- 10.06. Where notified in advance to the Sub-Committee Clerk and subject to them having attended the mandatory training, substitute Members may attend in place of a Planning Sub-Committee Member, pursuant to the Committee Procedure Rules. Substitutes will be from the same political party, to maintain the political balance at Sub-Committee and will be subject to clearance from the group's Chief Whip. The substitute will be for the duration of the entire agenda and will not be used for individual items.

**General Principles for hearing representations and petitions**

- 10.07. The Planning Sub-Committee will operate this Protocol with two particular aims regarding representations:
- (a) to allow those who have applied to make representations to be heard by the Sub-Committee on items on the agenda for the meeting; and
  - (b) to get through the agenda expeditiously to avoid delay to applications and wasted journeys by the public.
- 10.08. Objectors or supporters, including Ward or other Members where possible, should advise the Council by noon on the working day immediately prior to the Sub-Committee meeting (for a Monday meeting this would be by noon on the Friday prior to the Sub-Committee) in order to allow appropriate administrative arrangements to be put in place. The number of speakers will usually be limited to two speaking against the proposal with a time limit of 3 minutes each i.e. a maximum of 6 minutes. Members will have a time limit of 3 minutes each. Those supporting a proposal will be given the same time as those speaking

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against (including time taken by any Members objecting less any time by Members supporting).

- 10.09. Speaking should take place immediately before the Sub-Committee debates a particular application (see running order for the Sub-Committee) and after the planning officer has set the scene and updated the meeting on any late matters not dealt with in the published report.
- 10.10. The circulation of materials will not normally be accepted during the meeting. If new or further material is to be allowed following the publication of the Sub-Committee papers it should be received in advance of the meeting so that it can be circulated to Members of the Sub-Committee and the detail considered by officers and members.
- 10.11. For petitions, as per the Committee Procedure Rules, the Democratic Services Manager or Committee Clerk should be notified of any petitions by 10 a.m. five clear days<sup>2</sup> in advance of the Committee meeting. The petition will be handed to the Chair, and recorded as received by the Democratic Services Manager or Committee Clerk. If the petition is accepted, the Chair shall invite officers to advise the Planning Sub-Committee regarding planning policies and material considerations raised in the petition which may be debated by Members. If the petition is not considered at the meeting, the Chair shall report the response to the petition at the next ordinary meeting of the Committee.
- 10.12. Speakers should not be allowed to engage in discussion with Members of the Sub-Committee during public speaking or the Sub-Committee deliberations, to avoid any risk of accusation of bias or personal interest.

**The procedure for addressing the Sub-Committee**

- 10.13. Although the Committee Procedure rules allow for Members not on the Planning Sub-Committee, or officers outside the Planning Service who wish to address the Sub-Committee, to give written notice of their attendance to the Chair of the Sub-Committee rather than inform the Sub-Committee Clerk by 12 noon on the working day prior to Committee Members and Council Officers are asked to inform the Sub-Committee Clerk by 12 noon on the working day prior to Committee where possible.
- 10.14. The Chair will allow those persons outside the Council completing the form to address the Sub-Committee except where there are several people applying to speak, in which case there will be a limit as shown below. The right to speak shall be on a first come first served basis.
- 10.15. For any issue which is within the Sub-Committee's terms of reference, but for which there is not a report on the agenda, members of the public

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<sup>2</sup> Five clear days does not include weekends or national holidays and excludes both the day of the meeting and the day on which notice of the meeting is given

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may use the Deputations Procedure in accordance with the Committee Procedure Rules to make their representations to the Sub-Committee.

**Running order for planning applications**

10.16. Declarations of interest will be taken at the start of the meeting (Members will be invited to *clearly state their interest in an item and whether they believe it to be personal, prejudicial (including bias and predetermination) or pecuniary. To include whether they will leave, stay, refrain from debate and whether they will vote*).

|     |   |
|-----|---|
| (a) | Announce application and give a summary of the description and recommendation.  |
| (b) | Name the public speakers.   |
| (c) | Advise the meeting of the declarations of interest that have been made in relation to the item  |
| (d) | Local Member declaration to represent their constituents or vote ( <i>Where a local Member sits on the Sub-Committee they should state whether they intend to vote on the application or instead to represent their constituents. If representing their constituents they should move to the area reserved for speakers and remain there as applicable e.g. until the end of their contribution subject to then leaving the room</i> ). |
| (e) | Planning officer presents case including update of any late representations or new issues, with possible supplementary presentation from other officers.  |
| (f) | Members ask any clarification questions of the planning officer<br>This should be through the Chair, relating to points of fact relating to material planning considerations only   |
| (g) | Speaking arrangements Objectors - up to 2 speakers with a total time of 3 minutes each.   |
| (h) | Members ask any clarification questions of the objectors<br>This should be through the Chair, relating to points of fact relating to material planning considerations only  |
| (i) | Any interested Councillors who have informed the Sub-Committee Clerk or the Chair in advance of the meeting may address the Sub-Committee for up to 3 minutes each.   |
| (j) | Members ask any clarification questions of the Councillors<br>This should be through the Chair, relating to points of fact relating to material planning considerations only  |
| (k) | The Applicant and any supporters of the proposal will have the right to speak if there are any speakers against the proposal and then will be allowed to speak for an equivalent length of time as given to those objecting to the application i.e. maximum of 6 minutes (subject to any Members' speaking time) the total time to be divided between them.   |
| (l) | Debate – Members through Chair with support from officers / legal providing clarification. Sub-Committee Members debate the case and consider the recommendation including conditions.  |

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|---|---|
| (m)   | Summing up – Chair brings discussion to conclusion and seeks a decision on the recommendation/alternative recommendation proposed.        |
| (n)   | Vote and explicitly record decision(s), taking vote(s) as necessary. Following the vote, there will be no further discussion of the item. |
| (For certain cases the procedure may be varied to allow for adjournments for confidential legal advice.)  |   |
| The Sub-Committee will be aware that some parties listed as "objectors" can be overall in support of a development but be looking, for example, for some amendment or condition to protect their amenity. |   |

**Motions and decisions contrary to officer recommendation**

10.17. Decisions on planning proposals have to be taken in accordance with the development plan<sup>3</sup> unless material considerations indicate otherwise. In determining planning and other applications the Committee is entitled to decide the weight to be attached to the various planning considerations which are relevant to the application. This can lead to a decision which is contrary to the recommendation of the Officers. The Committee can for example decide to:

- refuse planning permission where officers have recommended approval;
- agree with officers that permission should be refused<sup>4</sup> but for different reasons; or
- grant permission subject to different conditions or legal requirements than those recommended.

10.18. Where any Committee Member puts forward a motion, the following process is to be followed:

- Members, through the Chair, at any time, may ask planning & legal officers for clarification on planning policies, material considerations & implications of their reasons and decisions, to inform a potential motion
- The Chair may ask Members if there are any other issues or reasons which may be relevant to inform a potential motion, and ask for officer clarification regarding these too
- The Member proposing a motion should state and explain their reasons and relevant planning policies and material considerations
- Another Member must second the motion, otherwise the motion falls away
- The Chair will restate the motion and reasons to Sub-Committee

<sup>3</sup> And National Development Management Policies when the relevant provisions come into force

<sup>4</sup> Although noting that applications that are to be refused by officers under delegated authority will not normally be determined at Planning Sub-Committee

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- The Chair shall invite the planning and legal officers to advise the Sub-Committee regarding the relevant planning policies, material considerations and implications (if any) of approving the motion
- The Chair may adjourn the meeting so that reasons for approving the motion can be considered and/or drafted by officers
- The Chair will restate the motion and reasons to Sub-Committee
- The Members will debate the motion
- Following the debate, the Chair will ask for the affirmative votes, the negative votes, then abstentions
- The Chair will announce the result of the voting, instruct the relevant officers to take the necessary action and introduce the next item of business

10.19. When the Planning Sub-Committee makes a decision which is contrary to the recommendation of the planning officers, whether the decision is one of approval or refusal, a detailed minute of the Sub-Committee's reasons for its decision and any changes to conditions of obligations will be made. A copy of the minute will be kept on the application file.

10.20. When a decision is made which is contrary to the Plan the material considerations which led to this decision and the reason(s) why they are considered to override the development plan will be clearly identified and minuted.

**Deferrals**

10.21. It should only be in exceptional circumstances that an item is deferred to a future meeting. It is Committee's role to make decisions on items presented to it. It should not be expected that there will be changes made to a proposal during a deferment, as Committee must make a decision on the item presented to it and not any other hypothetical proposal. The NPPF states that there is a presumption in favour of sustainable development and that for decision-making this means "approving development proposals that accord with an up-to-date development plan without delay" (emphasis added).

10.22. Once an item is published as part of an agenda for a Sub-Committee meeting it must be heard and can only be deferred at the meeting itself. Normally, the Sub-Committee will hear representations on both / all sides before they make a motion and decision to defer for any reason. Where any Committee Member puts forward a motion, the process to be followed is the same as that set out earlier on in paragraph 10.18 of this Protocol.

10.23. In order to take part in the discussion regarding, and be able to vote upon, an application, a Councillor must be present throughout the whole of the Committee's consideration of an application including the officer introduction to the matter. If an application has previously been deferred then the same Councillors will be asked to reconsider the application

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when it is returned to Committee. Where an application is deferred and its consideration recommences at a subsequent meeting only Members who were present at the previous meeting will be able to vote. If this renders the Committee inquorate then the item will have to be reconsidered afresh.

10.24. Officers may also change the recommendation from a recommendation to approve to a recommendation to defer if there are exceptional circumstances that occur between a Sub-Committee agenda and reports being published and the meeting taking place.

10.25. When a deferred application is re-submitted to the Sub-Committee, further representations will normally only be allowed if some fresh matter has arisen since the first Sub-Committee meeting. If this further submission is exceptionally allowed, the number of people speaking will be limited to one objector for a further 3 minutes. The applicant/supporter will have a right to reply of 3 minutes.

**For larger or more contentious applications**

10.26. (a) In relation to larger and/or more controversial applications (as agreed by the Sub-Committee), the Chair may allow more speakers, with the equivalent of the total length of time to be divided between them) if they consider it necessary to hear a wider range of views.

(b) For example: in relation to para. 10.2 above this would be four speakers with a total of 12 minutes divided between them.

(c) The applicant and any supporters will normally have a right to reply of the same length of time as taken by the objectors.

10.27. The Sub-Committee will aim to deal with all applications, except those of exceptional significance, within one hour, and the Chair will take active steps to keep to these time-scales in the interests of all participants. Members will also act to deal fairly and expeditiously and will therefore commit not to repeat questions. It is expected that there will be a maximum of 30 minutes of questions and comments for any one application.

**Equal Opportunities**

10.28. The adoption and publication of a Protocol giving clear information about planning procedures and getting involved in decisions would improve access to the system by all communities in the Borough, as well as potential investors. Arrangements will be put in place to make the policy principles within this protocol available in pamphlets in different languages and in larger print.

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## 11. SITE VISITS

11.01. The Director/Head of Service, in consultation with the Chair of the Sub-Committee, will decide which planning applications require a site visit which will be scheduled during daylight hours for the week before the Sub-Committee meeting at which an application will be determined. Examples of when a site visit would not normally be appropriate for a planning application include where:

1. purely policy matters or issues of principle are to be determined;
2. the report, together with drawings, photographs and other material is sufficient to provide the necessary information regarding a proposed development; or
3. Councillors have already visited the site within the last 12 months.

11.02. To ensure Members of the Sub-Committee are able to see a site in order to reach an informed decision whilst maintaining fairness and probity, the following procedures will be followed.

### Procedure

11.03. Access to the site will be arranged with the site owners or their agent and adjoining owners where necessary by planning officers.

11.04. Planning officer(s) will show the Members around the site(s) / area / adjoining properties, showing relevant scheme drawings, or any other material and pointing out significant features attached to/identified in the Sub-committee report. If the applicant's or agent's presence is required at the site, it will be solely to provide access to the site. An attendance list of the Members attending a site visit should be recorded.

11.05. A site visit will be adjourned and rearranged where the Director and/or Head of Service consider that Members of the Sub-committee are being lobbied/Members safety is at risk due to demonstrations at a site.

11.06. Members of the Sub-Committee may ask planning officers to provide further information regarding a planning application as part of the presentation for that application to the Sub-Committee.

11.07. If a Member of the Sub-Committee is unable to attend a site visit organised by planning officers, they may determine a planning application at the Sub-committee meeting if they consider they have all relevant information regarding the site, because it is a site they are familiar with/they have viewed the site from a public vantage point.

### Procedure for individual Members

11.08. Where a Member is unable to attend a site visit organised by planning officer they may wish to undertake a site visit on their own from a public



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vantage point before the Sub-Committee meeting. A Member of the Sub-Committee should not arrange to meet site owners or their agents or neighbouring owners at the site visit.

11.09. If a Sub-Committee Member is approached at their site visit by any party they should seek to avoid discussion of the planning application for the site and not give any indication of their views or the likely decision of Sub-Committee regarding the application. Where it is not practical to avoid some discussion the Member should make a note of what was discussed and with whom and pass that information to planning officers, so that it can be made available at the Sub-Committee meeting.

## 12.0 REVIEW OF THE PROTOCOL

12.01. The protocol will be regularly reviewed to take account of:

- new planning legislation;
- changes to national codes of conduct; and
- emerging examples of good practice.

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## **MINUTES OF THE MEETING Planning Sub Committee HELD ON Thursday, 6th November, 2025, 7.00 - 10.30 pm**

### **PRESENT:**

**Councillors: Sean O'Donovan, Barbara Blake (Chair), Reg Rice,  
John Bevan (Vice-Chair), Cathy Brennan, Scott Emery, Emine Ibrahim and  
Alexandra Worrell**

### **ALSO ATTENDING:**

Rob Krzyszowski - Director of Planning & Building Standard, Catherine Smyth - Head of Dev. Manage. and Enf. Planning, Justin Farley - Senior Lawyer, Chris Liasi – Principal Committee Coordinator.

#### **14. FILMING AT MEETINGS**

The Chair referred to the notice of filming at meetings and this information was noted.

#### **15. PLANNING PROTOCOL**

The Chair referred to the planning protocol and this information was noted.

#### **16. APOLOGIES**

There were no apologies for absenceApologies for absence have been received from Councillor Bartlett, Collett and Amin.

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#### **17. URGENT BUSINESS**

There were no items of urgent business.

#### **18. DECLARATIONS OF INTEREST**

There were no declarations of interest.

#### **19. MINUTES**

RESOLVED:

The minutes of the Planning Sub Committee held on 9<sup>th</sup> October were signed and confirmed as a correct record.

#### **20. PLANNING APPLICATIONS**

The Chair referred to the note on planning applications and this information was noted.

**21. HGY/2025/1220 505-511 ARCHWAY ROAD, HORNSEY, LONDON, N6 4HX**

Matthew Gunning, Area Team Manager, introduced the item.

Proposal: Redevelopment of existing car wash site to provide 16 new council homes comprising a 4-storey building fronting Archway Road and two 2-storey houses fronting Bakers Lane, with associated refuse/recycling stores, cycle stores, service space, amenity space and landscaping.

The scheme had been assessed as sustainable development on previously developed land. It had been designed to deliver sixteen affordable homes in a part of the borough where larger development sites are limited. The housing mix included eight two-bed flats, four one-bed flats, two wheelchair-accessible one-bed homes on the ground floor, and two semi-detached three-bed houses along Bakers Lane. These homes were intended to provide a high-quality residential environment for future occupiers.

The design featured a four-storey block along Archway Road, stepping down to three storeys with a recessed top floor, and two semi-detached houses along Bakers Lane. It had been considered to respond well to the surrounding urban grain and heritage context. The proposal had not been regarded as harmful to the character or appearance of the Highgate Conservation Area or nearby heritage assets. Instead, it had been expected to raise the architectural and townscape quality.

Neighbouring amenity had been protected through satisfactory siting, massing, and separation distances. Although some daylight and sunlight impacts had been identified for properties closest to the site, these had been judged acceptable within a dense urban context. The development would be car-free, with only one accessible parking space provided, and pedestrian improvements such as a new zebra crossing had been secured.

The scheme had incorporated renewable technologies, including EAHPs and PV panels, achieving a 77% reduction in carbon emissions and exceeding London Plan targets. A carbon offset contribution had also been secured. Biodiversity and urban greening requirements had been met through planting, green roofs, and landscaping. The development had been considered Air Quality Neutral, with no significant impact expected.

- Members had questioned how the drainage would be managed. Officers advised that the submitted details for sustainable urban drainage were comprehensive and appropriate.
- Concerns had been raised about the zebra crossings, which were described as potentially difficult to use and not pedestrian-friendly. They asked whether further evaluation would take place. At the start, the applicant and officers had recognised that if a development were to be built here, accessibility would need to improve. The proposal was to install a three-way zebra crossing system;

- however an alternative could be to install a single zebra crossing. Discussions with TFL were expected to continue to reach the best resolution.
- Members enquired as to whether a four storey development could be justified. Officers advised that there is a variety of building typologies and heights in the area, and that the proposed massing and design is considered to respond sensitively to the area.
  - Consultation with the local community was raised, particularly as objections to the scheme centred on where the application had been published in the press, with reference to the advert appearing in the *Haringey Community Press*. Officers explained that the advert was published in the Enfield & Haringey Independent, a locally circulated newspaper; and on their website.
  - In response to Members' questions, Officers confirmed that planning obligations would also be expected to be achieved from this scheme, as they would from a development proposed by any another applicant.
  - It was noted by Members that the Quality Review Panel said the site was challenging from an air pollution and noise stance. Officers advised that the scheme had been assessed from an air quality perspective and found to be acceptable; and that mechanical ventilation, along with triple glazing, would be installed.

Brendon Marczan attended the committee to speak in objection of the application:

- The resident stated that he represented residents of his road and other local roads.
- Residents had unanimously objected to the proposal, arguing it was unsafe, excessive, and procedurally flawed. They claimed the Council had failed to follow fair process, with numerous policy breaches, inadequate consultation, and lack of transparency. Concerns had focused on pollution, safety, poor environmental standards, and limited pedestrian access.
- The committee was urged to reject the scheme as legally indefensible, while residents stressed they wanted safe housing through genuine collaboration.
- It was said that the Council had failed to follow lawful, fair, and transparent procedures, citing 13 formal notices, 5 official complaints, 3 Ombudsman investigations, and 124 planning policy breaches, all evidenced in writing. None of these issues had been resolved or acknowledged in the Planning Officer's report, which they described as inaccurate, misleading, and based on flawed technical data.

Councillor Emery attended the committee to speak in objection of the application:

- A procedural question was raised in regard to photographs that were taken by the objector. The photographs were then passed around to the committee.
- The resident had argued that the plans were unsafe and flawed, citing traffic risks, poor pedestrian access, overlooking of homes, and unresolved flooding issues. They maintained that consultation had been inadequate and urged the Committee to reject the proposal or refer it to an independent inspector.
- They argued that implementing loading spaces on Archway Road, already a high-risk area with frequent accidents, would worsen safety. Additional turning

movements and pedestrian flows would be introduced without a proper safety review, and the transport assessment lacked a risk mitigation plan. Access to the site would be unsafe, with only informal crossings, raising serious concerns for wheelchair users and families with children.

Members responded to the objectors:

- There was quite a lot of engagement so Members wanted to understand as to how the residents felt they had not been involved in the process. Also, there were to be further discussions, would this change the perception of the project? Officers had stated that consultation on the application had been carried out widely. Site notices had been erected around the area, 113 letters had been sent to residents, and an advert had been placed in the local paper. Officers had also offered to meet the resident at their property to discuss their concerns, but despite discussions over possible dates, the meeting had not taken place as no agreement had been reached by the resident.
- The resident stated that they discovered consultation letters had not been properly sent and, despite raising stage one and stage two complaints, the Council admitted that only 113 letters had been issued instead of the 333 required. Five formal complaints had been raised, including on procedural bias grounds, failures in document keeping and procurement policies, GDPR breaches in the handling of consultation data, and misrepresentation at a cabinet meeting. The procedural unfairness complaint had already been referred to the Ombudsman by the resident. Officers explained that the reference to 333 letters having been sent was a 'typo' and that there was no requirement to send so many letters. Also, all complaints have been and/or would be responded to in due course once officers have had time to analyse the information sent.
- The resident explained that while residents might hold differing views, they would welcome something better than the existing car wash. However, they believed the site had unresolved challenges and that the proposed building was the right redevelopment solution.
- 

In response to questions to the applicant:

- A question was raised about the meaning of Flood Risk Zone 1, given anecdotal reports of local flooding. Planning officers had explained that Flood Risk Zone 1 is defined as having a very low probability of river or sea flooding—less than one in 1,000 annually—and is considered the lowest flood risk zone.
- Concerns had been expressed that this did not reflect the realities of the area or future climate risks. Officers had noted that other sources, such as water pipes, might explain local incidents. The Council's flood and water management team, acting as the lead local flood authority, had been consulted on the application and raised no objections, confirming that mitigations were built in. The proposal included softer landscaping and sustainable drainage to reduce runoff and minimise flooding compared to the current hard-standing site.

- Members noted that the scheme had been reported to the Quality Review Panel a number of times and that the scheme responded successfully to their comments.
- Officers advised that there was a clear distinction between officers acting as the applicant and those acting as the Local Planning Authority, with appropriate working relationships taking place.
- Members stated that while photos of flooding appeared shocking, these were considered localised incidents rather than evidence of a long-term problem. The borough's flood management team had determined the site was in Flood Risk Zone 1, meaning very low risk. The current car wash use had created excess water runoff across hard standing, sometimes causing ponding when drains were blocked. Officers believed that, if approved, the proposal with softer landscaping and drainage measures would materially improve conditions and reduce flooding risk
- A question had been raised about whether the housing mix provided the right balance, since 14 of the 16 units were one- or two-bedroom homes, with two family properties proposed. Officers responded that there is a need for all sizes of council accommodation and the mix is acceptable.
- 

The Chair asked Catherine Smyth, Head of Development Management and Enforcement Planning to sum up the recommendation. The Chair moved that the recommendation be approved following a unanimous vote.

**RESOLVED:**

2.1 That the Committee authorise the Head of Development Management or the Director of Planning and Building Standards to GRANT planning permission subject to the conditions set out below, and informatives, and the completion of an agreement satisfactory to the Head of Development Management or the Director of Planning and Building Standards that secures the obligations set out in the Heads of Terms below.

2.2 That delegated authority be granted to the Head of Development Management or the Director of Planning and Building Standards to make any alterations, additions or deletions to the recommended heads of terms and/or recommended conditions as set out in the report and addendum, and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee.

2.3 That the agreement referred to in resolution (2.1) be completed no later than December 1st 2025 or within such extended time as the Head of Development or the Director of Planning & Building Standards shall in their sole discretion allow;

2.4 That, following completion of the agreement(s) referred to in resolution (2.1) within the time period provided for in resolution (2.3) above, planning permission be granted in accordance with the Planning Application subject to the attachment of the conditions.

2.5 Planning obligations are usually secured through a S106 legal agreement. In this instance the Council is the landowner of the site and is also the local planning authority and so cannot legally provide enforceable planning obligations to itself.

2.6 There will also be a Directors' agreement signed between the parties (applicant as the Housing Department and Planning as the Local Planning Authority) to secure obligations that would otherwise ordinarily be set out in a S106 legal agreement.

2.7 It is recognised that the Council cannot enforce against itself in respect of breaches of planning conditions, and so prior to issuing any planning permission measures will be agreed between the Council's Housing service and the Planning service, including the resolution of non-compliance with planning conditions by the Chief Executive and the reporting of breaches to portfolio holders, to ensure compliance with any conditions imposed on the planning permission for the proposed development.

2.8 The Council cannot impose conditions on a planning permission requiring the payment of monies and so the Director of Placemaking and Housing has confirmed in writing that the payment of contributions for the matters set out below will be made to the relevant departments before the proposed development is implemented.

2.9 A summary of the planning obligations/S106 Heads of Terms for the development is provided below:

1. Carbon offset contribution:

- Estimated carbon offset contribution (and associated obligations) of £10,830 (indicative), plus a 10% management fee; carbon offset contribution to be re-calculated at £2,850 per tCO<sub>2</sub> at the Energy Plan and Sustainability stages
- 'Be Seen' commitment to upload energy performance data

2. Car-Capped Agreement including a £4,000 contribution to amend the Traffic Management Order

3. Car Club Provision and Membership Planning Sub-Committee Report

4. Enter into an agreement with the Highways Authority under S278 and TfL for the new crossing and necessary highways works

5. Travel Plan contribution: £3,000 (three thousand pounds) per year per travel plan for a period of five years

6. Travel Plan Monitoring Contribution

7. Construction Logistics contribution: £15,000 to administer and oversee construction impacts

8. Off-site highways and Landscaping working

9. Affordable Homes for Social Rent

10. Local Employment

11. Employment and Skills Plan

12. Skills Contribution

13. Energy Plan

14. Sustainability Review

15. Monitoring Costs

2.17 A summary of the recommended conditions for the development is provided below:

- 1) Development begun no later than three years from date of decision
- 2) In accordance with approved plans
- 3) Materials submitted for approval



- 4) Hard and soft landscaping
- 5) Living Roof
- 6) Cycle parking
- 7) Part M4(2) Accessible and Adaptable Dwellings and M4(3) Wheelchair Homes
- 8) Energy Strategy
- 9) Water Butts
- 10) Water consumption
- 11) BNG Plan
- 12) BNG Monitoring
- 13) NRMM
- 14) Section 278 Agreement
- 15) Land contamination
- 16) Unexpected contamination
- 17) Demolition and Construction management plan (DCMP)
- 18) Demolition and Construction Environmental Management Plan (DCEMP)
- 19) Removal of permitted development rights for extensions
- 20) Satellite dishes/television antennae
- 21) Waste and recycling facilities, and collection
- 22) Considerate constructors scheme
- 23) Secure by design
- 24) Piling
- 25) Overheating report
- 26) Overheating
- 27) Urban greening factor
- 28) Accessible car parking provision
- 29) Delivery and servicing plan and waste management
- 30) External lighting

**22. HGY/2022/4319 & HGY/2022/4320 EDMANSONS CLOSE, BRUCE GROVE, LONDON, N17 6XD**

Gareth Prosser, Deputy Team Manager, introduced the item.

Proposal: Full planning application and listed building consent application seeking consent for the demolition of existing laundry building and 1970s infill building; alterations and extensions to 44 existing almshouses to create 8 x 1 bed, 12 x 2 bed and 6 x 3 bed homes; alterations to existing Gatehouse to provide 1 x 2 bed homes; construction of 1 x new build 3 bed home to replace 1970s infill building; construction of a new apartment building comprising 7 x studio homes and 9 x 1 bed homes; construction of 4 x new build 2 bed homes within two new pavilions (2 homes in each pavilion, 4 homes in total); with landscaping; improvements to access; provision of five Blue Badge car parking spaces; and ancillary development thereto.

The following was noted in response to questions from the committee:

- Questions were raised about where future tenants would come from and whether the Council might seek to house residents on waiting lists within this development. One suggestion had been that, if affordable housing became possible, it should be provided as a financial contribution elsewhere in the borough to avoid overdevelopment of the site. Officers were

congratulated for removing the 1970s block, which was seen as setting a high standard. The applicant was responsible for tenant allocation, while officers explained that early and late-stage reviews would assess economic conditions to determine whether any affordable housing could be achieved in the future. Affordable housing could be delivered on site within the development permitted if it were to become financially viable in the future, though financial contributions remained an alternative option. Officers would seek to secure the best position available if the circumstance were to arise. The applicants are a charity and would use the property for housing, in connection with their charitable purposes.

- Members questioned what would happen to the green space in front of the homes and the plans for the chapel were. The chapel would be used for community use and the green space would be retained, though a some of it would be used a play area for children.

-

Carol Hebbs attended the committee to speak in objection of the application:

- The speaker, Chair of the Friends of Bruce Castle and member of the Heritage Quarter Committee, opposed changing the Draper's almshouses from retirement housing to family use. They stressed the buildings' historic value, their Grade II listing, and their original purpose for elderly residents. They highlighted Haringey's growing older population, the need for suitable housing, and the benefits of retaining the almshouses for over-55s, which would ease pressure on social services while preserving heritage and community.

Councillor Ali attended the committee to speak in objection of the application:

- He acknowledged that the applicant had presented a much-improved scheme compared to three years earlier and recognised the need for refurbishment of the site. However, he raised several concerns. He criticised the absence of affordable housing, noting this was the second scheme in the ward within twelve months to lack such provision, despite the area having a large elderly population and significant sheltered housing needs.
- He stated that one- and two-bedroom homes should be retained, questioned the demand for family housing, and asked whether the applicant had sought funding support from the Almshouse Consortium, Homes England, or the GLA. He also highlighted that rental figures provided were outdated, failing to reflect current market conditions.
- Concerns were expressed about families being housed as licensees without secure tenancies, citing past cases of vulnerable residents being evicted.
- Heritage issues were also raised, with calls for input from the conservation officer on balancing historic preservation with energy efficiency measures such as air source heat pumps.
- Finally, the speaker noted that 33 residents had objected to the scheme, particularly over the loss of daylight, which he said was not adequately addressed in the report, especially for residents on Elsdon Road and Harton Road.

Members responded to the objectors:

- Members queried how important the site was to local residents. The speaker explained that the importance of the site was ultimately a matter for the applicant to address. They recalled childhood memories of visiting the almshouses from Lancasterian School during Harvest Festival, emphasising the site's long-standing role in serving the poor elderly. They noted that the almshouses had originally been bound by a covenant designating them for this group, and that this only changed following reforms by the Charity Commission which allowed such covenants to be altered.

The following was noted in response to questions to the applicant:

- Queries were raised about future plans for the almshouses after refurbishment. The applicant explained that costs and listed status made the project complex, but it aimed to find a financially viable scheme while retaining the buildings for charitable purposes.
- It was queried whether housing for the elderly would be included. It was explained that a new apartment block had been specifically designed for older residents, incorporating a lift to address accessibility issues absent in the original almshouses, which had steep, narrow staircases unsuitable for elderly people. The charity emphasised the importance of creating a mixed community with housing for both older and younger people, noting that it was no longer considered good practice to isolate elderly residents. The scheme was praised for following modern trends by combining different age groups within the development
- Questions were raised about whether funding had been sought and if partnerships with housing associations or the Council had been explored. It was explained that every possibility had been considered, including approaches to the GLA, but the accommodation was deemed unsuitable for grants. The applicant stated that if planning consent was to be secured, it would review options and, if unable to proceed alone, would seek suitable partners such as housing associations. The main challenge remained achieving a financially viable scheme to cover refurbishment costs.

The Chair asked Catherine Smyth, Head of Development Management and Enforcement Planning to sum up the recommendation for the planning application. The Chair moved that the recommendation be approved following a vote of 6 in favour of officers' recommendation, 2 against and 1 abstention.

The Chair asked Catherine Smyth, Head of Development Management and Enforcement Planning to sum up the recommendation for the listed building consent application. The Chair moved that the recommendation be approved following a vote of 6 in favour of officers' recommendation, 2 against and 1 abstention.

**RESOLVED:**

2.1 That the Committee authorise the Head of Development Management and Planning Enforcement or the Director of Planning and Building Standards to GRANT planning permission subject to the conditions set out below and informatives, and the completion of an agreement satisfactory to the Head of Development Management

and Planning Enforcement or the Director of Planning and Building Standards that secures the obligations set out in the Heads of Terms below.

2.2 That delegated authority be granted to the Head of Development Management and Planning Enforcement or the Director of Planning and Building Standards to make any alterations, additions or deletions to the recommended measures and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee.

2.3 That the agreement referred to in resolution (2.1) above is to be completed no later than 27/11/2025 within such extended time as the Head of Development Management or the Director of Planning and Planning Enforcement Building Standards shall in their sole discretion allow; and

2.4 That, following completion of the agreement(s) referred to in resolution (2.1) within the time period provided for in resolution (2.3) above, planning permission be granted in accordance with the Planning Application subject to the attachment of the conditions. Conditions/Informative Summary – Planning

1. Three years
2. Drawings
3. Materials & Design Detail
4. Demolition Works
5. Replacement Windows & Doors
6. Details for extension junctions to existing building, chimney, roof and party wall
7. Retrofitting
8. Landscaping
9. Details of ancillary buildings, including cycle store, bin stores, ASHP screening
10. Energy Strategy
11. Whole-House Retrofit Strategy and Monitoring
12. Overheating
13. Living roofs
14. Community Use Plan
15. Demolition and Construction Logistics and Management Plan
16. Cycle Parking
17. Land Contamination
18. Unexpected Contamination (Pollution)
19. NRMM
20. Demolition/Construction Environmental Management Plans
21. Waste
22. Secured by Design
23. Secured by Design
24. Tree Protection Plan
25. Surface Water Drainage 1
26. Surface Water Drainage 2
27. Accessible Homes
28. Electric Vehicle Charging Point
29. Removal of Permitted Development

Application HGY/2022/3419 A summary of the recommended conditions for the development is provided below:

Conditions:

1. Three years
2. Drawings
3. Materials & Design Detail
4. Demolition Works
5. Replacement Windows & Doors
6. Details for extension junctions to existing building, chimney, roof and party wall
7. Retrofitting
8. Landscaping
9. Details of ancillary buildings, including cycle store, bin stores, ASHP screening
10. Energy Strategy
11. Whole-House Retrofit Strategy and Monitoring
12. Overheating
13. Living roofs
14. Biodiversity
15. Demolition and Construction Logistics and Management Plan
16. Cycle Parking
17. Land Contamination
18. Unexpected Contamination (Pollution)
19. NRMM
20. Demolition/Construction Environmental Management Plans
21. Waste
22. Secured by Design
23. Secured by Design
24. Tree Protection Plan
25. Surface Water Drainage 1
26. Surface Water Drainage 2
27. Accessible Homes
28. Electric Vehicle Charging Point

## **23. PRE-APPLICATION BRIEFINGS**

A pre-application presentation was made to the Planning Sub Committee.

The Chair stated that meeting shall continue after 10:00 PM, except that discussion of the specific item or case in hand at 10:00 PM May continue thereafter at the discretion of the chair of the meeting. Consideration of any business remaining would be deferred to the next ordinary meeting, except where the matters fall to be dealt with under the urgency provisions. Which was agreed by the committee to continue the item at hand.

## **24. PPA/2025/0002 MALLARD PLACE, COBURG ROAD, WOOD GREEN N22 6TS**

Valerie Okeiyi, Principal Planning Officer, introduced the item.

The pre-application site is located at Mallard Place on Coburg Road, and is known as 'Chocolate Factory Phase Two'. The proposal seeks to redevelop the site with a 22-storey building and eight-storey wing, alongside a 14-storey building with a six-storey wing, providing 150 social rent dwellings. It also includes double-height affordable workspace, landscaped public realm, and associated facilities.

The site is bounded by Raphael House to the west, Kingfisher Place to the east, and the Chocolate Factory Phase One development to the north, which had already received planning permission for mixed use. At the time, the site was partially occupied by Area 51 Education, a specialist college.

The scheme forms part of site allocation SA19 within the Wood Green Cultural Quarter, which aims to deliver employment-led mixed-use development and high-quality urban realm. The proposal includes a housing mix of one- to four-bed units, affordable workspace, refuse and cycle storage, podium courtyards with play space, green roofs, landscaping, and 12 blue badge parking bays.

The Applicant stated:

- The site lies between the Clarendon Gas Works and the Chocolate Factory developments, with part already holding planning permission. Its design was shaped by nearby transport links and safeguarding lines, requiring taller, slimmer towers. The layout included bike storage, a podium garden, commercial units, and workspace along Coburg Road, with flats arranged efficiently across the towers. Visuals showed the scheme's scale in relation to surrounding developments. The presentation concluded by noting that the project would deliver 150 new council homes at council rent, with an application expected before year's end.

The following was noted in response to questions to the applicant:

- Concerns were raised about whether the 12 accessible parking bays in adjacent areas might cause parking problems for local residents and lead to objections.
- Members welcomed the principle of providing social rent homes in this location
- Members noted that, apart from one home, all dwellings would be dual aspect, which is rare among developments, and welcome.
- Members sought confirmation on building materials, observing that the images suggested render rather than brick, which they considered might be unsuitable. It was clarified that the block would use patterned brickwork with varied balcony materials.
- Questions were raised about which buildings would be demolished and whether the Prime Depot would be relocated. It was confirmed that the church and Prime Depot units would be retained, while the Area 51 Education Centre would be demolished. The Council was still discussing a relocation strategy for existing uses, but no final decision had yet been made.

CHAIR: Councillor Barbara Blake

Signed by Chair .....

Date .....

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## 1. DETAILS OF THE DEVELOPMENT

**Reference No:** HGY/2025/1769

**Ward:** Woodside

**Address:** Timber Yard, 289-295 High Road, Wood Green, London, N22 8HU

**Proposal:** Demolition of the existing storage and distribution buildings and redevelopment of the site for 36 homes within 2 x part three, four and five storey blocks and part two, part three storey mews buildings, in conjunction with refuse and cycle stores, cycle and car parking and landscaping.

**Applicant:** John Silvester

**Agent:** SY2 Planning

**Ownership:** Private

**Case Officer Contact:** Samuel Uff

- 1.1 The application has been referred to the Planning Sub-Committee for decision as the planning application is a major application.

### SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The loss of non-designated employment land is considered acceptable as part of a proposed development that would provide significant additional residential housing in a predominantly residential area. A financial contribution of £22,000 will be required for the loss of the existing 8 FTE employees.
- The principle of a residential scheme is supported in this accessible location, which will contribute to the Borough's housing stock; and is considered to represent sustainable development.
- The application proposes a high quality design that would positively repair the urban fabric compared to the existing property's presence on the High Road.
- The scheme has been positively reviewed by the Quality Review Panel and refined in broad accordance with those comments.
- The proposal is not considered harmful to the character or appearance of the Trinity Gardens Conservation Area or nearby heritage assets and would additionally raise the architectural and townscape quality of this site within the conservation area. The scheme will deliver public benefits, including the provision of additional homes and improvements to townscape quality.
- A viability assessment has been independently reviewed and confirms that the development is unable to provide any affordable housing. This could be reviewed by way of an early and late stage review to assess whether any such housing, or a contribution towards affordable housing off-site, could be achieved in the future. However, the applicant has made a commercial offer to make a Payment in Lieu to

the council to provide affordable housing in the sum of at least £250,000 to compensate for the removal of both Early and Late Stage Reviews. This is accepted as it gives more certainty to the Council and applicant and the contribution would be used to provide affordable homes within Haringey.

- The siting, massing and separation distances are considered satisfactory in protecting neighbouring amenity, particularly those in Morant Place and along Trinity Road. Siting of windows, balconies and amenity spaces have been carefully considered to avoid overlooking of these neighbours.
- The proposed residential mix comprises 21 x 1 bed, 5 x 2 bed and 10 x 3 bedroom homes is considered to be a suitable mix for this location.
- The proposed homes will have a high quality of living accommodation, be predominantly dual or triple aspect, include private and communal amenity spaces and play space and suitable provision of accessible homes.
- A suitable pedestrian footway and environment for residents would be included, which would serve the proposal as well as benefit existing commercial uses within Neville Place.
- The development is proposed to be 'car-free', with one accessible car parking space provided from the outset and future provision for two additional bays secured through the S106 to be provided if needed in the future. Ground floor cycle stores will be provided.
- The development would achieve a 77% reduction in regulated carbon dioxide emissions on site, through a combination of high fabric efficiencies, communal and individual air source heat pumps (ASHPs), and an array of solar photovoltaic (PV) panels.
- Biodiversity Net Gain requirements achieve 189% BNG value gain when measured against the pre-development baseline value improvement, this significantly exceeds the 10% increase. The GLA Urban Greening Factor score of 0.46 will also exceed the target of achieving 0.40. These will be met through planting, green roofs, and landscaping. There will also be a net gain of 8 trees, as well as tree retention.
- The scheme will be Air Quality Neutral, with no significant impact expected.
- Overall, this is considered to be a high quality development that will provide housing for Haringey and is supported by Officers and relevant policy.
- The scheme would provide a number of section 106 obligations, along with paying Haringey and Mayoral CIL contributions.

## **2. RECOMMENDATION**

- 2.1. That the Committee authorise the Head of Development Management and Planning Enforcement or the Director of Planning and Building Standards to GRANT planning permission subject to the conditions and informatives set out below and the completion of an agreement satisfactory to the Head of Development Management and Planning Enforcement or the Director of Planning and Building Standards that secures the obligations set out in the Heads of Terms below.

- 2.2. That delegated authority be granted to the Head of Development Management and Planning Enforcement or the Director of Planning and Building Standards to make any alterations, additions or deletions to the recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice-Chair) of the Planning Sub-Committee.
- 2.3. That the agreement referred to in resolution (2.1) above is to be completed no later than 30 January 2026, or within such extended time as the Head of Development Management and Planning Enforcement or the Director of Planning & Building Standards shall in their sole discretion allow; and
- 2.4. That, following completion of the agreement(s) referred to in resolution (2.1) within the time period provided for in resolution (2.3) above, planning permission be granted in accordance with the Planning Application subject to the attachment of the conditions.
- 2.5. A summary of the recommended conditions and informatives for the development is provided below (the full text of the recommended conditions can be found in Appendix 1 of this report).

**Conditions:**

- 1) Time Limit (Compliance)
- 2) Approved Plans and Documents (Compliance)
- 3) Materials and Detailing (Prior to commencement)
- 4) Boundary treatment and access control (Pre-occupation)
- 5) Landscaping (Prior to commencement of relevant part)
- 6) Play equipment
- 7) Biodiversity Net Gain Plan (Pre-commencement)
- 8) BNG Monitoring (Pre-occupation)
- 9) Lighting (Pre-occupation)
- 10) Noise from building services plant and vents (Compliance)
- 11) Secure by Design Accreditation (Pre-above ground works)
- 12) Secured by Design Certification (Pre-occupation)
- 13) Surface Water Drainage (Pre-commencement)
- 14) SuDS Management and Maintenance Strategy (Pre-occupation)
- 15) Piling Method Statement (Pre-commencement)
- 16) Land Contamination (Pre-commencement)
- 17) Unexpected contamination (If identified)
- 18) NRMM (Pre-commencement)
- 19) Management and Control of Dust (Pre-commencement)
- 20) Delivery and Servicing and Waste Management Plan (Pre-occupation)
- 21) Construction Logistics and Management Plan (Pre-commencement)
- 22) Considerate Constructors (Compliance)
- 23) Energy Strategy (Pre-above ground works)
- 24) Overheating (Pre-above ground works)

- 25) Living Roofs (Pre-above ground works)
- 26) Water Butts (Pre-occupation)
- 27) Urban Greening Factor (Compliance)
- 28) Arboricultural Method Statement (Compliance)
- 29) Tree protection (Pre-commencement)
- 30) Cycle Parking (Pre-occupation) – *ref the external short stay storage*
- 31) Electric Vehicle Charging (Pre-occupation)
- 32) Accessible Parking Bay(s) (Pre-commencement)
- 33) Car Parking Management Plan (Pre-occupation)
- 34) Waste/Recycling Storage (Prior to commencement of relevant part)
- 35) Restriction to Telecommunications Apparatus (Restriction)
- 36) Building Regulations Part M (Compliance)
- 37) Water Consumption (Pre-occupation)
- 38) Block C - obscure glazing and partial opening windows
- 39) Communal antenna

**Informatives:**

- 1) Heads of Terms
- 2) CIL
- 3) Land ownership
- 4) Construction hours
- 5) Street numbering
- 6) Asbestos
- 7) Designing Out Crime
- 8) Signage
- 9) Thames Water build over agreement
- 10) Thames Water Groundwater
- 11) Thames Water general information
- 12) Thames Water Sequential approach to the disposal of surface water
- 13) Thames Water Mains water for construction purposes

**Section 106 Heads of Terms:**

**1. Loss of employment:**

- £22,400 (8 FTE x £2,800)

**2. Highways works:**

- £80,000 contribution for junction improvements

**3. Affordable Housing Payment in Lieu**

- Payment of at least £250,000 towards the provision of affordable homes in Haringey

**4. Carbon Mitigation**

- Energy Plan

- Sustainability Review
- Be Seen commitment to uploading energy data
- Carbon Offset £22,230 (indicative)
  - 10% management fee;
  - Carbon offset contribution to be re-calculated at £2,850 per tCO<sub>2</sub> at the Energy Plan and Sustainability stage

## **5. Sustainable Transport Initiatives**

- Travel Plans provided for the residential
- Appointment of a travel plan co-ordinator
- Financial contributions towards travel plan monitoring (£3,000 per plan) for 5 years (15k total monitoring)
- Welcome pack & £200 voucher for active travel related equipment purchases.

## **6. Car Free Agreement**

- No residents to be entitled to apply for a resident's parking permit under the terms of the relevant Traffic Management Order (TMO).
- Payment of £4,000 (four thousand pounds) towards the amendment of the Traffic Management Order for this purpose.

## **7. Demolition and Construction Logistics Plans – £5,000 contribution**

- To include:
- Routing of excavation and construction vehicles, including a response to existing or known projected major building works at other sites in the vicinity and local works on the highway.
- The estimated number and type of vehicles per day/week.
- Estimates for the number and type of parking suspensions that will be required.
- Details of measures to protect pedestrians and other highway users from demolition and construction activities on the highway.
- The undertaking of a highway dilapidation survey.
- The implementation of the Construction Logistics and Community Safety (CLOCS) standard.

## **8. Car Club**

- Reasonable endeavours to establish a car club for the scheme, including the provision of adequate car club bays and associated costs, with provision of

five years free membership for all residents and £50 per year per unit credit for first 2 years

**9. Future proofing additional accessible car parking**

- Mechanism for providing the additional spaces
- Provision of EV charging
- Car Parking Management Plan
- Monitoring (£3,000)

**10. Considerate Contractor Scheme Registration**

**11. Local Labour and Training**

**12. Monitoring Contribution**

- 5% of total value of contributions;
- £500 per non-financial contribution;
- Total monitoring contribution to not exceed £50,000.

**13. S278 for Highways Works to include:**

- **removal of a single CPZ bay,**
- **long dropped kerb and double yellow lines for the blue bay access**
- **turning head behind block B**
- **associated streetscape changes/improvements for the hardstanding highway area to the front of block A**

2.6. In the event that members choose to make a resolution contrary to officers' recommendation, members will need to state their reasons.

2.7. That, in the absence of the agreement referred to in resolution (2.1) above being completed within the time period provided for in resolution (2.2) above, the planning application be refused for the following reasons:

i. The proposed development, in the absence of late/early stage reviews or a legal agreement securing the provision of a payment in lieu of at least £250,000 towards providing affordable housing, would fail to ensure that affordable housing delivery has been maximised within the Borough and would set an undesirable precedent for future similar planning applications. As such, the proposal is contrary to Policy SP2 of the Local Plan 2017, Policy H5 of the London Plan 2021 and the Mayor of London's Affordable Housing and Viability Supplementary Planning Guidance document.

ii. The proposed development, in the absence of a legal agreement to work with the Council's Employment and Skills team and to provide other employment initiatives would fail to support local employment, regeneration and address local unemployment by facilitating training opportunities for the local population. As such, the proposal is contrary to Policy SP9 of the Local Plan 2017.

iii. The proposed development, in the absence of a legal agreement securing sufficient energy efficiency measures and/or a financial contribution towards carbon offsetting, would result in an unacceptable level of carbon dioxide emissions. As such, the proposal would be contrary to Policies SI2, SI3 and SI4 of the London Plan 2021, Policy SP4 of the Local Plan 2017 and Policy DM21 of the Development Management Development Plan Document 2017.

iv. The proposed development in the absence of a legal agreement to secure a financial contribution towards loss of employment, would fail to facilitate training opportunities for the local population. As such, the proposal would be contrary to Policy SP9 of the Local Plan 2017.

v. The proposed development, in the absence of a legal agreement securing sustainable transport measures and public highway works, through a Section 278 Highway Agreement to pay for any necessary highway works; and including potential provision of car club and car club memberships; a contribution to monitor the Construction Logistics Plan; a contribution towards 'car free' development and the associated amendments to the TMO; and provision of residential travel plans and monitoring fee; would have an unacceptable impact on the safe operation of the highway network, and would give rise to overspill parking impacts and unsustainable modes of travel. As such, the proposal would be contrary to Policies T1, T2, T6, T6.1 and T7 of the London Plan 2021, Policy SP7 of the Local Plan 2017 and Policy DM31 of the Development Management Development Plan Document 2017.

2.8. In the event that the Planning Application is refused for the reasons set out above, the Head of Development Management and Planning Enforcement or the Director of Planning & Building Standards (in consultation with the Chair of Planning Sub-Committee) is hereby authorised to approve any further application for planning permission which duplicates the Planning Application provided that:

i. There has not been any material change in circumstances in the relevant planning considerations, and

ii. The further application for planning permission is submitted to and approved by the Director within a period of not more than 12 months from the date of the said refusal, and

iii. The relevant parties shall have previously entered into the agreement contemplated in resolution (1) above to secure the obligations specified therein

## **CONTENTS**

- 3.0 PROPOSED DEVELOPMENT AND SITE LOCATION
- 4.0 CONSULTATION RESPONSES
- 5.0 LOCAL REPRESENTATIONS
- 6.0 MATERIAL PLANNING CONSIDERATIONS
- 7.0 COMMUNITY INFRASTRUCTURE LEVY
- 8.0 RECOMMENDATIONS

### **APPENDICES:**

- Appendix 1: Planning Conditions & Informatives
- Appendix 2: Images of site and proposed scheme
- Appendix 3: Internal and External consultation representations
- Appendix 4: Quality Review Panel report 05 March 2025
- Appendix 5: Plans and Documents List
- Appendix 6: Planning Sub Committee meeting 02 June 2025 - briefing minutes

## **3. PROPOSED DEVELOPMENT AND SITE LOCATION**

### **Proposed Development**

- 3.1. The planning application proposes the demolition of the existing storage and distribution (B8) buildings and redevelopment of the site for residential (C3) use. The proposal includes Blocks A and B, which consist of 2 x three to five storey



buildings on the High Road frontage and Block C, which is a part two, part three storey mews building, to the rear of the site fronting onto Neville Place. The development would provide a total of 36 homes. One accessible parking bay would be made available from the outset with provision for a further two accessible bays, if required in future. The development includes re-landscaping and provision of amenity space, including playspace and wild flower planting.

- 3.2. Block A would have a stepped massing, matching the three storey height of the adjoining side extension to the former Fishmongers Arms public house, stepping up to a four storey element before meeting the maximum fifth storey height. Block B would also have a lower four storey 'shoulder' height toward the side site boundary, similar to that of the adjacent Morant Place. These buildings would be constructed predominantly in brickwork.



*Image 1 - Proposed Blocks A and B in High Road frontage context*

- 3.3. The siting of Block A would align with the established building line of the former Fishmongers Arms pub. The building line of Block B would project beyond that of the staggered massing of Morant Place closer to High Road but would not project beyond the southern boundary of this neighbour. These blocks would be separated by the retained access to Neville Place. The ground floor of both buildings would provide an active frontage, including a lobby area / residential frontage and have a variation of brick tone and design to create a distinct base. The remainder of the ground floors would provide cycle and refuse stores and plant areas.



*Image 2 – Site layout showing Blocks A and B and Block C (denoted A, B, C on each relevant Block)*

- 3.4. The rear mews development (Block C) would adjoin the rear gardens of properties on Trinity Road, and consist of a part two, part three storey brickwork building with metallic roofs, which would be broken up by roof terraces between buildings. These mews buildings would have the coherent appearance of a terrace but would comprise of ground floor 1 bed flats and upper floor 3 bed maisonettes. The ground floor homes would be served with a modest private, rear amenity space. The upper floors would have amenity spaces at second floor level, accessed from the main living area. The maisonette entrances would have lobbies, which could accommodate bike / buggy stores.



*Image 3 - Proposed 'Mews Terrace' development (Block C)*

- 3.5. The main communal amenity area would be sited behind (west of) Block A and the flank elevation (east) of the mews development – Block C. This area would accommodate 209sqm of shared amenity space from the outset, which includes a landscaped entrance. This entrance area is proposed to be adaptable and could be used to accommodate two further accessible parking bays if required in future, which would reduce the shared amenity area to 163sqm. This amenity space would contain play space, seating and landscaping. Additional landscaping would be located at the northern corner, in front and to the side of proposed Block B. A refuse store and single parking bay, with the potential to provide two further bays, would be located adjacent to the southern edge of this main amenity area, adjacent to the highway of Neville Place. Refuse and recycling stores for Blocks A and B would be internally located at ground floor level.
- 3.6. There are 19 existing trees on and adjacent to the site, of which 4 would be retained on site and 6 retained off site. Therefore, a total of 9 trees would be removed. Fourteen trees would be planted on-site and 3 planted off-site, Those trees off site to be removed and planted would be subject to Highways approval. These will provide a variety of suitable species. The development will provide significant Biodiversity Net Gain and Urban Greening improvements, including extensive green roofs on all buildings and wildflower planting within the landscaping plan.





*Image 4 - Amenity spaces, tree removal / planting and parking bay, r/o Block A*

### **Site and Surroundings**

- 3.7. The site is occupied by 'Wood Green Timber Merchants' and is located on the western side of the High Road and the southern side of Neville Place. The site contains a single storey, commercial building and associated storage areas for the sale and distribution of timber, extending back into the site with a large flank wall along Neville Place. The site has a Public Transport Accessibility Level (PTAL) rating of 6(a), considered to be 'Excellent' and highly accessible and is a 10-12 minutes walk to Wood Green tube station.
- 3.8. The southern part of the site, up to the highway of Neville Place, is located within Trinity Gardens Conservation Area. The site adjoins the locally listed former public house (Fishmongers Arms) and the Grade II Statutorily Listed fountain / trough, which is located in front of that site. Other notable listed buildings in the general vicinity of the site include the Grade II statutorily listed Civic Centre and Trinity Academy Primary School, both of which are located to the south of the site.

- 3.9. Neville Place is adopted highway and contains a row of two storey buildings to its north, which are currently in employment use. This highway is subject to a CPZ with 'pay and display' parking in operation. To the north of the site is the staggered building line of Morant Place, a four storey residential development, by Ivor Smith & Cailey Hutton Architects. Back gardens of two-storey residential terraced houses on Trinity Road adjoin the southern edge of the site. These dwellings are numbered 1-5 Dogan Terrace at the eastern end of the terrace before the historic numbering from no.1 Trinity Road to the west of those dwellings.
- 3.10. There is a large forecourt area in front (to the east) of the frontage building, which is currently used by the Timber Merchants for additional storage of material. It has come to light that this is Highways land and does not fall within the applicant's title deeds. Regardless of whether the site is redeveloped or not, this land is expected to revert to Highways land and storage in this area will cease.

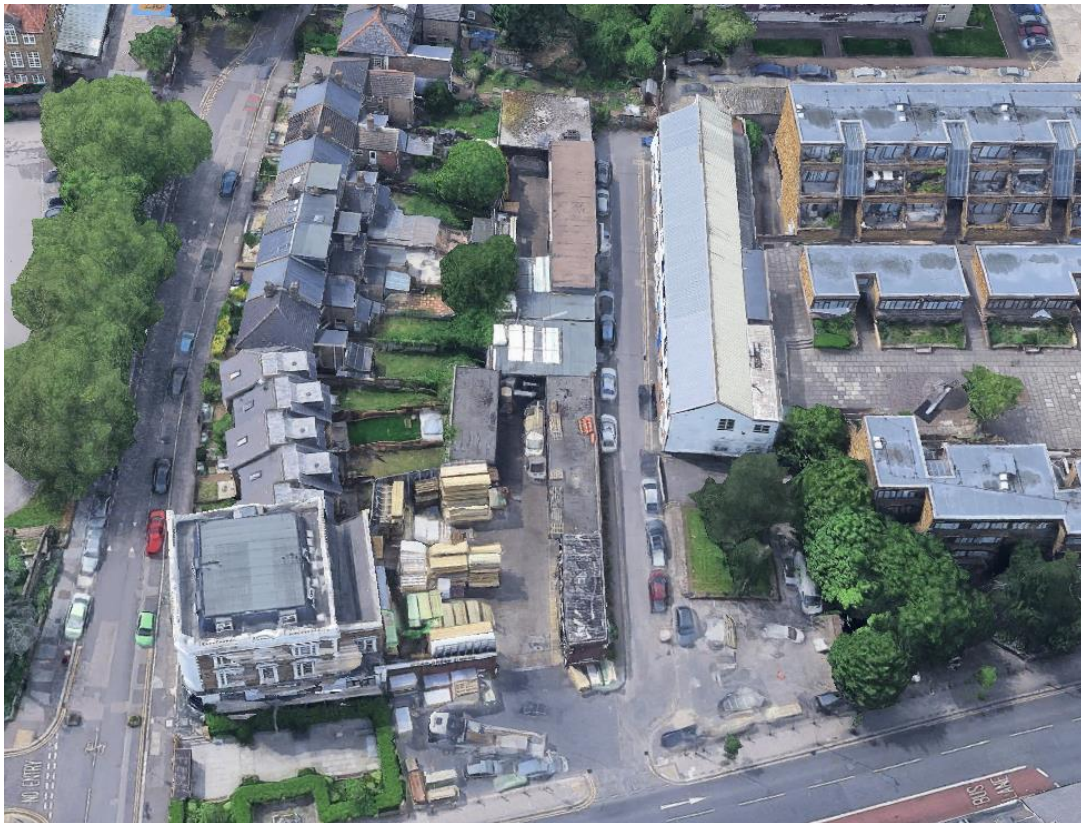


Image 5 Image of the site



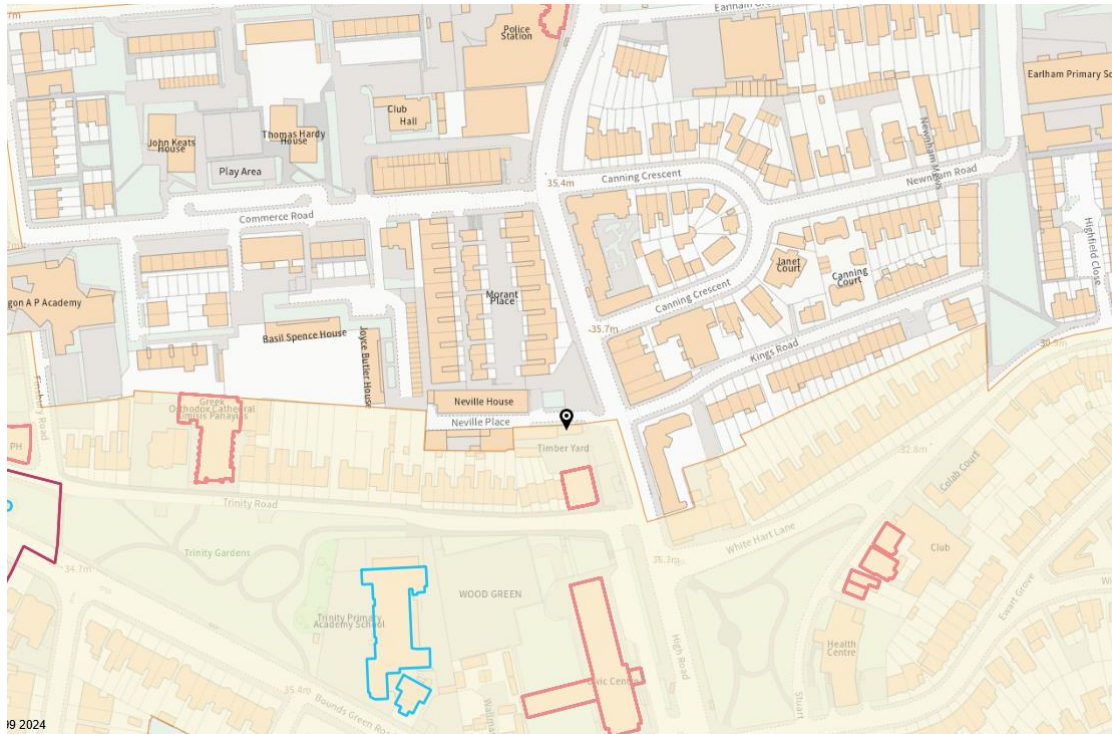


Image 6 location of site in context of Trinity Gardens Conservation Area (buff shading), locally (red) and Statutory (blue) listed buildings

## Relevant Planning and Enforcement History

3.11. There is no relevant planning history associated with the Wood Green Timber Yard site. The most relevant planning history relates to the neighbouring site of the Former Fishmongers Arms, as detailed below:

- Fishmonger Arms - HGY/2019/3071 - Change of use of the property from mixed office use (sui-generis) to residential (C3) and the creation of four self-contained flats, in conjunction with creation of lightwells; replacement of existing windows and doors; landscaping; boundary treatment; removal of vehicle crossover and provision of refuse and cycle storage facility. The flats comprise one studio, one 1b/2p; one 2b/4p and one 2b/3p - Granted 18 March 2020.

## 4. CONSULTATION RESPONSES

### *Pre-application Planning Committee 2<sup>nd</sup> June 2025*

4.1. The proposal was presented to The Haringey Planning Sub Committee on 2<sup>nd</sup> June 2025. The detailed design of the proposed buildings was reviewed and there was a request that bricks be provided to Members to review in future if/when the case were to be reported to PSC for decision. The internal arrangements of flats were questioned, as was the relationship between the mews houses (Block C) and the neighbouring residents in Trinity Road. Minutes of the meeting are attached as appendix 6.

*Quality Review Panel*

- 4.2. The proposal was presented to Haringey's Quality Review Panel (QRP) on 24 March 2025. Overall, the scheme was welcomed by the QRP, and a summary is provided below:
- 4.3. *The Haringey Quality Review Panel welcomes the site layout, height and massing, and building typologies, which are well considered and respond appropriately to the historic setting. However, the conflicts between amenity, play, parking, and servicing on the ground plane are symptoms of the intensity of development and need to be resolved. It may be necessary to alter the quantum of development to find the optimum that the site can support without compromising on quality.*
- 4.4. *The panel supports the relationship with the conservation area but asks that long views of the church spires are protected as the scheme develops. Significant further work is needed to ensure that the ground plane will deliver for the people who will live and work here, as well as for the wider community. An alternative solution should be found for the children's play space, which is next to refuse and parking, and likely to be overshadowed. Neville Place could be remodelled as a shared surface mews, the Blue Badge parking reduced and relocated, and the play space extended. The highway land and the land in front of the former Fishmongers Arms should make a significant contribution to the high street setting and public realm greening. The project team is encouraged to work with Haringey officers and neighbours to resolve the land ownership and use issues for public benefit.*
- 4.5. *The project team should consider replacing the proposed mews flats with a terrace of mews houses on Neville Place. This would resolve many of the design issues and provide more suitable family housing than upper floor flats. The panel suggests carrying out a detailed review to check that all rooms are of an appropriate size and shape to be usable, and that entrances are welcoming. The panel suggests that a community use, in the proposed wing adjoining the former Fishmongers Arms, would be more successful than a commercial space. The success of the architecture will depend on the quality of the detailing and execution. A simple brick materials palette is recommended, with further articulation to create a distinctive external appearance, especially on the High Road elevations.*
- 4.6. *The panel suggests that the basement is removed to reduce embodied carbon and encourage residents to use the bicycle store. Further work is needed to improve the form factor and reduce heat loss. The windows should be sized in relation to noise, daylight, resident quality of life, and the wider context, as well as overheating.*

- 4.7. All of these elements and a detailed response to specific points raised by QRP is provided in the 'Design and Appearance' section of this report. The full QRP response can be found at Appendix 4.

*Applicant's Public Engagement*

- 4.8. The applicants undertook two online consultation events on Monday 28 April at 7pm and Tuesday 29 April at 1pm.
- 4.9. The applicant's Statement of Community Involvement (SCI) sets out details of the public consultation that was carried out by 'Your Shout', part of Thorncliffe. Details are provided of the residents, businesses, councillors and local groups that were contacted. It states that letters were delivered to 2413 properties up to Truro Road to the north of the site and Bounds Green Road to the south, on or around 16 April 2025. Information has been provided on the project website. The applicant has advised that 41 people took part in their public engagement events in June 2025 and 18 responses to the applicant's associated survey were received.

*Planning Application Consultation:*

- 4.10. An officer summary of the responses received is below. The full text of internal and external consultation responses is contained in Appendix 3.

*Public Consultation*

**Internal**

LBH Carbon Management – The proposed development would achieve a 77% reduction in regulated carbon emissions on-site. To comply with the zero-carbon policy, a carbon offset contribution of £22,230 is required to offset the remaining emissions.

LBH Conservation – The development would have neutral impact and retain key views into the conservation area. The relationship with the existing Statutory and Locally Listed Buildings and conservation context is considered to be acceptable.

LBH Design – The High Road frontage is graded with a distinct base, middle and top to follow the pattern of traditional buildings along this major arterial street and enhance its human scale. The massing strategy successfully mediates between the taller High Road context and the lower-scale residential hinterland, avoiding abrupt transitions. The architectural language is contemporary yet contextual. This is a well-designed scheme that makes efficient use of a challenging site to deliver high-quality housing and public realm improvements. The proposals exhibit a coherent architectural language, appropriate massing, and strong attention to residential amenity. There is a successfully integrated landscaping strategy. All homes are of a high quality layout.



LBH Lead Local Flood Authority – Approve with conditions for SuDS and maintenance.

LBH Noise – No objection.

LBH Pollution – Approve with conditions for contamination, Non-Road Mobile Machinery, dust control and considerate constructors

LBH Transportation – No objection subject to S106 obligations for car free arrangement; car club potential provision and starter pack; travel plan; construction logistics plan monitoring fee; £80,000 sustainable transportation contribution; mechanism for future accessible parking allocation; and S278 highways improvements. Conditions on cycle parking; delivery and servicing plan; accessible bays; EV provision / infrastructure; and a car parking management plan are also recommended.

LBH Trees – There would be the removal of eight on site trees and one off site tree (five category B and four category C). A mixture of up to 17 new standard trees are proposed to be planted. A net gain of 8 trees. BNG, UGF and landscape plan are all acceptable.

LBH Waste Management – No objection

### **External**

Metropolitan Police (Designing Out Crime Officer) – No objection.

TfL – No comments received.

Thames Water – further surveys required

## **5.0 LOCAL REPRESENTATIONS**

5.1 The application has been publicised by way of a press notice, several site notices which were displayed around the site and in the vicinity of the site, and over one thousand letters sent to surrounding local properties. The number of representations received from neighbours, local groups, etc in response to notification and publicity of the application are as follows:

5.2 The number of representations received from neighbours, local groups etc. were as follows:

No of individual responses: 17  
Objecting: 14  
Supporting: 2  
Others: 1

5.3 The main issues raised in representations from residents are summarised below.

Support:

- Welcome the additional housing in close proximity to Wood Green Station and accessible bus routes and town centre.

Objections:

- Over size scale and massing of blocks and mews (**Officer Comment:** The scale of the proposed development is considered to be acceptable in this setting)
- One comment suggesting need for more height and reversion to the arch design discussed in preapp (**Officer Comment:** The scale is considered to be appropriate in this setting. The arch was removed on officer advice)
- Impact on heritage (**Officer Comment:** The front of the site is within the Conservation Area and adjacent to the locally listed building. This relationship has been appropriately designed to conserve those heritage assets. The rear of the site is adjacent to the CA and is considered to appropriately scaled and designed to address this.)
- Loss of daylight / sunlight / overshadowing to Trinity Road (**Officer Comment:** A daylight/sunlight/overshadowing report has been submitted and reviewed by officers and is considered to provide suitable living conditions for existing and future residents within a built up area.)
- Loss of privacy to Trinity Road from Block C - Mews and Block A (**Officer Comment:** The separation and alignment of proposed windows from existing windows is considered to be sufficient. Gardens are already overlooked by existing neighbours, and the additional overlooking is not considered to significantly impact on overall privacy. However, amendments to the design of the Mews Buildings (Block C) have been proposed to mitigate harmful overlooking, particularly from the roof terraces.)
- Loss of openness (**Officer Comment:** The loss of view or open aspect is not protected in Planning, but there is significant distance between the building and predominant rear elevations of Trinity Road and this massing, set off the boundary at higher levels, is considered to avoid any unacceptable overbearing impact.)
- Living conditions for future residents (**Officer Comment:** Living conditions are broadly aligned with best practice guidance.)
- Potential for planting to retain privacy (**Officer Comment:** Habitable room windows would be set back from shared boundaries)

- Provision for residents with disabilities (**Officer Comment:** The site proposes 10% wheelchair accessible (M4(3)) housing – accessible and easily modified housing suitable for wheelchair users , with the remainder of housing being M4(2), suitable for adaption, where reasonably achievable. An accessible car parking space will be provided for people with disabilities only, with up to two additional if/as needed in the future.
- Loss of daylight and overbearing impact to Neville Place (**Officer Comment:** These are employment units so do not have same levels of protection as habitable properties, but the scheme would still retain suitable separation and retention of amenity to these units.)
- Low level of wall compared to existing, potential for climbing over (**Officer Comment:** The low level walls would generally serve the small rear yards of mews ground floor flats. The relationship between the play area is considered to be acceptable and can be attenuated through suitable defensive planting. The applicant has advised that they are willing to review a higher wall, similar to that of the existing with details to be approved and influenced by Party Wall discussions. A condition would require detail of the wall height (with amenity and safety considered therein).
- Noise impact from play area to residents at weekends and evenings (**Officer Comment:** The play area would be a modest play space amenity area for 'doorstep play' and would not be expected to have excessive numbers of users. The main play equipment would be set away from the Trinity Road boundary. Noise impact is not considered to be significant.)
- Smoke and food smells (**Officer Comment:** This will be residential use so no significant impact for existing residents is anticipated.)
- Loss of employment (**Officer Comment:** The loss of employment is considered in detail in the assessment section of this report. There would be a S106 financial contribution requirement to address the loss, and the overall benefits of providing high quality homes is considered to outweigh this modest loss).
- Impact on servicing for Neville Place employment uses (**Officer Comment:** The turning head and pay and display parking bays would be retained. These are small units and are not considered to be incompatible with the residential use proposed).
- Narrow access to the site and potential crime and ASB (**Officer Comment:** The proposed residential use will increase passive surveillance and activate the site. The Designing Out Crime team are satisfied with the development and Secure by Design accreditation will be a conditional requirement.)

- Highways conflict between residential and employment uses - reference to policies T7, D1B, D3, DM20 (**Officer Comment:** A Road Safety Audit was undertaken for this scheme. A pavement has been proposed to be provided through setting the mews building back from the highway. There are relatively limited traffic flows into Neville Place compared to the local highways. A Healthy Streets assessment is conditioned.)
- Safety of children / pedestrian access (**Officer Comment:** In addition to the comments above, the shared playspace would be gated and aimed at use by small children, who would be expected to be supervised. A Highways Safety Audit has also been undertaken.)
- Responsible development, tidiness, construction management etc, contact for complaints (**Officer Comment:** A demolition and construction management plan would be required through condition, and the developer would be expected to undertake a considerate contractors obligation as part of the S106 legal agreement.
- Additional parking stress (**Officer Comment:** The proposed development would be car-free other than for up to 3 accessible car parking bays. No residents of the proposed new homes would be able to apply for parking permits.)
- Potential for residents to park on-street after the CPZ finishes (**Officer Comment:** The CPZ times are not under consideration. The site has high PTAL of 6a so is highly accessible. As such car use should not be encouraged.)
- Access to driveway of no.10 (**Officer Comment:** The width of the access road would be retained)
- Cumulative disturbance from refurbishment of the Civic Centre (**Officer Comment:** Any construction traffic would require a construction management plan to minimise noise and traffic disturbance and would consider other significant development such as the Civic Centre.)
- Strain on existing infrastructure (**Officer Comment:** the Community Infrastructure Levy and other contributions would be required and can be used to contribute toward local services.)
- Strain on sewers (**Officer Comment:** Thames Water have been consulted and raise no objection in terms of capacity).
- Protection of grapevine along the wall (**Officer Comment:** There are no statutory protections of such vegetation, but the applicant has agreed to try and protect this within the development proposal, and a suitable condition is recommended. The proposal would provide significant biodiversity improvements, as shown in Biodiversity Net Gain assessment).

- Impact on habitats and ecology (**Officer Comment:** A Biodiversity Net Gain and Urban Greening Assessment have been provided, alongside an outline landscaping strategy. These are considered to provide a suitable level of enhancement.)
- Issues of consultation, and the outcome of the planning application being a foregone conclusion (**Officer Comment:** The applicant has engaged in welcome preapplication discussion and has presented the scheme at Pre-Application Planning Committee; however, all Planning considerations have been assessed, on their own merits, on the basis of the submitted planning application, and following consultation.)
- Cumulative impact of this and development to Civic Centre (**Officer Comment:** The approved development would be serviced from High Road and Neville Place rather than Trinity Road. If the Civic Centre development is still ongoing if and when this scheme is approved and starts on site then the Demolition and Construction Logistics Plan would ensure that both schemes can be successfully constructed in tandem, without any unacceptable adverse impacts.)

## 6.0 MATERIAL PLANNING CONSIDERATIONS

6.1 The main planning issues raised by the proposed development are:

1. Principle of the Development
1. Affordable Housing and Housing Mix
2. Design and Appearance
  - a. Quality Review Panel comments
  - b. Scale massing and detailed design
3. Heritage / Conservation
4. Residential Quality
  - a. Layout and living conditions
  - b. Accessible housing
  - c. Amenity and playspace
5. Impact on Amenity of Adjoining Occupiers
6. Noise and Disturbance
7. Transportation and Parking
8. Energy, Climate Change and Sustainability
9. Trees
10. Urban Greening Factor and Biodiversity
11. Waste and Recycling
12. Flood Risk, Drainage and Water Infrastructure
13. Air Quality
14. Land Contamination
15. Fire Safety and Security
16. Equalities

## 17. Conclusion

### 6.2 Principle of Development

#### *National Policy*

6.3 The current National Planning Policy Framework (NPPF) was updated in December 2024; with minor made amendments in February 2025. The NPPF establishes the overarching principles of the planning system, including the requirement of the system to 'drive and support development' through the local development plan process. It supports employment and also advocates policy that seeks to significantly boost the supply of housing and requires local planning authorities to ensure their Local Plan meets the full, objectively assessed housing needs for market and affordable housing.

6.4 Paragraph 70 notes that small and medium sized sites can make an important contribution to meeting the housing requirement of an area and are often built out relatively quickly. To promote the development of a good mix of sites local planning authorities should support the development of windfall sites through their policies and decisions - giving great weight to the benefits of using suitable sites within existing settlements for homes.

#### 6.5 *Regional Policy - The London Plan*

6.6 The London Plan is the overall strategic plan for London, setting out an integrated economic, environmental, transport and social framework for the development of London over the next 20–25 years. The London Plan (2021) sets a number of objectives for development through various policies. The policies in the London Plan are accompanied by a suite of Supplementary Planning Guidance (SPGs) and London Plan Guidance that provide further guidance.

6.7 London Plan Policy E4 states that any proposal resulting in the loss of industrial / employment capacity should be suitably justified and where appropriate should be focused in locations that are well-connected by public transport, walking and cycling and contribute to other planning priorities including housing.

6.8 The London Plan (2021) Table 4.1 sets out housing targets for London over the coming decade, setting a 10-year housing target (2019/20 - 2028/29) for Haringey of 15,920, equating to 1,592 dwellings per annum.

6.9 Policy H1 of the London Plan 'Increasing housing supply' states that boroughs should optimise the potential for housing delivery on all suitable and available brownfield sites, especially sites with existing or planned public transport access levels (PTALs) 3-6 or which are located within 800m of a station or town centre boundary.

- 6.10 Policy H2A of the London Plan outlines a clear presumption in favour of development proposals for small sites such as this (below 0.25 hectares in size). It states that they should play a much greater role in housing delivery and boroughs should pro-actively support well-designed new homes on them to significantly increase the contribution of small sites to meeting London's housing needs. It sets out (table 4.2) a minimum target to deliver 2,600 homes from small sites in Haringey over a 10-year period. It notes that local character evolves over time and will need to change in appropriate locations to accommodate more housing on small sites.
- 6.11 Policy D3 of the London Plan seeks to optimise the potential of sites, having regard to local context, design principles, public transport accessibility and capacity of existing and future transport services. It emphasises the need for good housing quality which meets relevant standards of accommodation.

*Local Policy - Haringey Local Plan*

- 6.12 The Haringey Local Plan Strategic Policies DPD (hereafter referred to as Local Plan), 2017, sets out the long-term vision of the development of Haringey by 2026 and sets out the Council's spatial strategy for achieving that vision.
- 6.13 The London Borough of Haringey Workspace Planning Design Guidance, 2023, highlights Wood Green High Road as a priority area for co-working and mixed use.
- 6.14 Policy SP8 of the Local Plan 2017 makes it clear that there is a presumption to support local employment and small sized businesses that require employment land and space. The supporting text to Policy SP8, however, at paragraph 5.1.4 states that *'taking a more flexible approach where local employment areas are no longer suitable for industrial or other employment generating uses, a progressive release of surplus industrial land will be carried out, in order to facilitate urban regeneration.'* And, whilst this is not an 'allocated site' for (what are generally identified for larger-scale housing growth), not all housing development will take place on allocated sites. The supporting text to Policy SP2 of the Local Plan specifically acknowledges the important role these 'small sites' play towards housing delivery.
- 6.15 Part A of Policy DM40 - Non-Designated Employment Land and Floorspace of the Development Management DPD (hereafter referred to as the DM DPD) says that as this is an accessible existing employment site the Council will support proposals for mixed-use, employment-led development where this is necessary to facilitate the renewal and regeneration (including intensification) of existing employment land and floorspace.

- 6.16 Policy DM38 of the DM DPD states that proposals must maximise employment floorspace in mixed use development, provide improvements in suitability of employment space and other factors to ensure any employment space will be suitable. The main body of the text recognises that some of this stock may no longer be fully viable for employment development, however. In such circumstances it is required that applicants submit viability assessments to show that mixed use schemes maximise employment uses.
- 6.17 Policy DM40 of the DM DPD states that where proposals involve the total loss of employment floorspace a financial contribution towards employment related initiatives may be sought, in line with Policy SP9 of the Local Plan 2017 and Policy DM48 of the DM DPD.
- 6.18 Policy SP2 of the Local Plan 2017 states that the Council will aim to provide homes to meet Haringey's housing needs and to make the full use of Haringey's capacity for housing by maximising the supply of additional housing to meet and exceed the minimum target including securing the provision of affordable housing. Policy DM10 of the DM DPD seeks to increase housing supply and seeks to optimise housing capacity on sites.
- 6.19 As part of preparing a new Local Plan, the Council is currently consulting on a Draft Local Plan under Regulation 18 of the Town and Country Planning (Local Planning) (England) Regulations 2012, with the consultation period running from 10 October to 19 December 2025. The Draft Local Plan sets out the Council's emerging placemaking framework, spatial strategy, and policy direction. At this stage, the new Local Plan is in the early stages of preparation and has not yet been submitted for examination. In accordance with the National Planning Policy Framework (NPPF), paragraph 49, officers consider that only very limited weight should be afforded to the Draft Local Plan's policies at this time.

*Loss of a Non-Designated Site in Employment Use*

- 6.20 The site, in planning policy terms is a non-designated employment use. There no adopted site allocation relevant to the site.
- 6.21 The application proposes a fully residential development consisting of 36 new homes which would contribute towards the Council's overall housing targets and much needed housing stock, including family sized homes. In pre-application discussions various iterations of a retained commercial unit were considered but any such use was removed in the latter stages of pre-application discussion and prior to the presentation of the scheme as a pre-application to Planning Committee on 2 June 2025.
- 6.22 The current use as a timber merchant is not considered to be especially compatible with residential use, given noise and disturbance that might arise. Redevelopment including a scheme introducing more housing to the area could



also have the same issues if such a use were re-provided. Notwithstanding this, a business use less impactful on residential amenity could be compatible with the existing surrounding and proposed residential uses. The site has a Public Transport Accessibility Level (PTAL) rating of 6(a), so is considered to be highly accessible, so would therefore be appropriate for mixed-use development. Policy DM38 and DM40 of the DM DPD require justification before a complete loss of existing employment land use on such a non-designated employment site could be considered to be acceptable.

- 6.23 The application is supported by the submission of a marketing assessment in the form of a 'Commercial Demand Report', which has been undertaken by Paul Simon Seaton (PSS), in capacity as commercial agents. This highlights the issues of retaining the site for commercial use and it is considered that such issues would further impact the viability of redeveloping the site.
- 6.24 In accordance with Policy DM38 the application is supported by a viability assessment that highlights the challenges of redeveloping the site. The development is not anticipated by the applicant to provide any surplus profit even as a wholly residential scheme; albeit when tested by a third party a very small surplus has been identified.
- 6.25 The PSS report demonstrates that there is unlikely to be a demand for commercial floorspace in this specific location, as well as the general decline in demand for office space since 2020. Although the Haringey Workspace Planning Design Guidance does reference potential for employment uses in the areas, the case studies provided within the PSS report indicates current market pressures in end users for similar sites in the area. The proposed site frontage is also adjacent to two residential plots (Morant Place and the converted former Fishmongers Arms), so does not have the same active frontage of other parts of the High Road setting and is considered to be more appropriate for residential use. The PSS report has also advised that the supply of E Class properties within three miles of the application site far outstrips demand.
- 6.26 The ground floor of Blocks A and B would be the most suitable part of the site for commercial. However, in an effort to create a viable scheme and to provide better residential layout, the proposal has moved away from the costly basement development proposed at pre-application stage, which has resulted in more of the ground floor required for storage and plant use, further limiting potential for commercial use.
- 6.27 The combination of the viability challenges and constrained nature of the site along with the demand information for other similar sites in the area are considered to be sufficient justification for the loss of employment uses in this instance.

- 6.28 Overall, whilst the policy ambition to incorporate some employment use in a mixed use development has been an important consideration, the provision a wholly residential development on the site is considered to successfully counter balance the loss of employment use, subject to a financial contribution being secured for the loss of employment use on the site.
- 6.29 The Planning Obligations SPD states that where there is a loss of non-designated employment floorspace a financial contribution is required for use in promoting employment and adult education for Haringey residents. This equates to £30/sqm of lost employment floorspace. However, the usable floorspace for a use such as the existing storage and distribution does not directly equate to potential employment. A more appropriate assessment in this application is based on the existing full time equivalent (FTE) employment on the site, which in this instance is 8 employees. This should be multiplied by a figure of £2,800, which is highlighted in the SPD as a suitable figure for support and training contribution per lost job. As such, this would equate to a sum of  $8 \times £2,800 = £22,400$ . This has been agreed by the applicant and is recommended to be secured in a S106 as a financial obligation.
- 6.30 Accordingly, the loss of employment is considered to be acceptable on this occasion.

#### 6.31 **Affordable Housing and Housing Mix**

##### *National Policy*

- 6.32 The NPPF 2024 states that where it is identified that affordable housing is needed, planning policies should expect this to be provided on site unless off-site provision or an appropriate financial contribution can be robustly justified, and the agreed approach contributes to the objective of creating mixed and balanced communities.

##### *Regional Policy – London Plan*

- 6.33 The London Plan Policy H4 also states that affordable housing should be provided on site or provided as a cash in-lieu contribution in exceptional circumstances. The London Plan goes on to set out that cash in lieu contributions can be used where on-site affordable housing delivery is not practical and the contribution will not be detrimental to the delivery of mixed and inclusive communities.
- 6.34 The Mayor of London's Affordable Housing and Viability (AHV) Supplementary Planning Guidance (SPG) states that all developments not meeting a 35% affordable housing threshold should be assessed for financial viability through the assessment of an appropriate financial appraisal, with early and late-stage viability reviews applied where appropriate. It states that all schemes which

propose cash in lieu payments are required to provide a detailed viability assessment as part of the justification.

- 6.35 The SPG states 'The starting point for determining in-lieu contributions should be the maximum reasonable amount of affordable housing that could be provided on-site as assessed through the Viability Tested Route. The value of the in-lieu contribution should be based on the difference in Gross Development Value arising when the affordable units are changed to market units within the appraisal. This is to ensure that where the on-site component of market housing is increased as a result of the affordable contribution being provided as a cash in-lieu payment, this does not result in a higher assumed profit level for the market homes within the assessment which would have the effect of reducing the affordable housing contribution'.

*Local Policy*

- 6.36 Policy SP2 of the Local Plan 2017 states that subject to viability, sites capable of delivering 10 homes or more will be required to meet a Borough wide affordable housing target of 40%, based on habitable rooms. Policy DM13 of the DM DPD 2017 reflects this approach and sets out that the Council will seek the maximum reasonable amount of affordable housing provision when negotiating on schemes with site capacity to accommodate more than 10 dwellings, having regard to Policy SP2 of the Local Plan and the achievement of the Borough-wide target of 40% affordable housing provision, the individual circumstances of the site, the availability of public subsidy, development viability; and other planning benefits that may be achieved.
- 6.37 Policy DM13 of the DM DPD 2017 states that off-site provision may be acceptable in the following exceptional circumstances, where a development can: secure a higher level of affordable housing on another site, secure a more inclusive and mixed community or better address priority housing needs.
- 6.38 The Mayor's Affordable Housing and Viability SPG acknowledges the reality that developers require a competitive return in order to proceed with a scheme and to secure finance where required. Viability reviews consider residual land value methodology to determine the underlying land value once the costs of the development (including developer's profit) are deducted from the gross development value.
- 6.39 Within planning viability assessments there are two assessments of land value that are undertaken to determine whether a proposal is viable: the assessment of residual land value and benchmark land value. The residual land value is determined through deducting development costs from development value to ascertain the underlying land value. This is then compared with the benchmark land value. The benchmark land value can be considered as the value below which a reasonable land owner is unlikely to release a site for redevelopment.

- 6.40 The NPPF's benchmark for viability appraisal is that it should *"take account of the normal cost of development and mitigation, provide competitive returns to a willing land owner and willing developer to enable the development to be deliverable"*. The PPG is clear that *"in all cases, land or site value should: reflect policy requirements and planning obligations and, where applicable, any Community Infrastructure Levy charge."*
- 6.41 Viability assessments refer to profit as the agreed profit suitable for a site, given the specific circumstances. Surplus and deficit are referred to as what the applicant is expected to achieve in relation to that profit i.e. if there was a deficit of 1% on a profit of 20% then the developer would still anticipate achieving 19% profit. As referenced in the Mayor's Affordable Housing and Viability SPG an agreed profit is required to ensure that the proposal can be developed.

*Viability review*

- 6.42 In support of the planning application, a financial viability assessment by James. R. Brown (JRB) has been submitted by the applicant alongside supporting information. The report outlined that the development with 100% private housing would generate a deficit of £3,377,651 against the viability benchmark. This was based on a level of profit against costs of 22.5% and the applicant has submitted case studies to show why this should be the case.
- 6.43 The JRB assessment assumes a Benchmark Land Value of £2.53m based on their modelling that suggests that the site could be sold for approximately £2.3m and that the scheme would only achieve a profit of 3.39% on costs, equating to approximately £595,632. The assessment also assumes CIL and S106 financial obligations of up to £950,000 (Local CIL is estimated to be £842,212.80 and Mayoral CIL £221,800.80)
- 6.44 The JRB viability assessment has been independently reviewed by Carter Jonas, on behalf of the Local Planning Authority, who have questioned assumptions including build costs. Carter Jonas have suggested that a more reasonable profit of 17.5% is appropriate for this site. Their independent assessment of the JRB report also places a more pessimistic BLV of £1.28m (approximately half of that of JRB assessment) on the site. On this basis the assumption is that the site could provide a very modest surplus of 0.01% (£2,589), as shown in the table below. It should also be noted that CIL payments alone are anticipated to be above £950,000, which would further absorb the modest surplus.

|              | Scenario               | Benchmark Land Value | Target Profit               | Out turn Profit              | Project Surplus / Deficit |
|--------------|------------------------|----------------------|-----------------------------|------------------------------|---------------------------|
| JRB          | 36 units – all private | £2.53m               | 22.5% on costs (£3,976,283) | 3.39% on costs (£598,632)    | £3,377,651                |
| Carter Jonas | 36 units – all private | £1.28m               | 17.5% on value (£3,197,425) | 17.51% on value (£3,200,014) | £2,589                    |

- 6.45 Although significant adjustments to the JRB assessment have been made in the Carter Jonas response, including both the BLV and proposed scheme inputs, they concur that the proposed development is financially marginal, as demonstrated by the very small project surplus. This means that the proposal would not be able to provide any affordable housing on-site and no payment in-lieu.
- 6.46 A viability assessment has been independently reviewed and confirms that the development is unable to provide any affordable housing. This could be reviewed by way of an early and late stage review to assess whether any such housing, or a contribution towards affordable housing off-site, could be achieved in the future. However, the applicant has made a commercial offer to make a Payment in Lieu to the council to provide affordable housing in the sum of at least £250,000 to compensate for the removal of both Early and Late Stage Reviews. This is accepted as it gives more certainty to the Council and applicant and the contribution would be used to provide affordable homes within Haringey.
- 6.47 It should be noted that although the site would not provide affordable homes it would provide other benefits, not only from a high quality designed housing development, additional market housing and ecological and biodiversity improvements, but also from the agreed S106 obligations and Mayoral and Local CIL, which would go toward infrastructure improvements within the Borough and London as a whole.

#### *Dwelling Mix*

- 6.48 Policy H10 of the London Plan 2021 requires new residential developments to offer a range of housing choices, in terms of the mix of housing sizes and types, taking account of evidence of housing need, the requirement to deliver mixed and inclusive neighbourhoods, the need to deliver a range of unit types at different price points and the mix of uses and range of tenures in the scheme. Strategic Policy SP2 of the Local Plan 2017 and Policy DM11 of the DM DPD 2017 adopts a similar approach.
- 6.49 Policy DM11 of the DM DPD 2017 states that the Council will not support proposals which result in an overconcentration of 1 or 2 bed units overall unless

they are part of larger developments or located within neighbourhoods where such provision would deliver a better mix of unit sizes. Individual site circumstances, including location, character and its surrounds, site constraints and scale of development should all be taken into consideration in determining the appropriate housing mix.

6.50 The overall proposed dwelling mix is set out in Table 01 and 02 below:

*Table 01: Proposed housing mix*

| <b>Unit Type</b> | <b>Total units</b> | <b>% of units</b> | <b>% of hab rooms</b> |
|------------------|--------------------|-------------------|-----------------------|
| <i>1 bed/2p</i>  | <i>21</i>          | <i>58%</i>        | <i>43%</i>            |
| <i>2 bed/3p</i>  | <i>5</i>           | <i>14 %</i>       | <i>15%</i>            |
| <i>3 bed/4p</i>  | <i>10</i>          | <i>28 %</i>       | <i>41%</i>            |

*Table 02: Mix by block*

|                     |           |                 |
|---------------------|-----------|-----------------|
| <b>Block A</b>      | 8         | 1B/2P           |
|                     | 5         | 2B/3P and 2B/4P |
|                     | 1         | 3B/4P           |
|                     | <b>14</b> |                 |
| <b>Block B</b>      | 8         | 1B/2P           |
|                     | 4         | 3B/4P           |
|                     | <b>12</b> |                 |
| <b>Block C</b>      | 5         | 1B/2P           |
|                     | 5         | 3B/4P           |
|                     | <b>10</b> |                 |
| <b>Scheme Total</b> | <b>36</b> |                 |

6.51 The proposed residential mix comprises 1, 2 and 3 bedroom units, reflecting the site's location within a highly accessible location. It therefore meets NPPF and Policy H10 of the London Plan 2021 requirements for new development to offer a range of housing choices, having regard to local evidence of need, the requirement to deliver mixed and inclusive neighbourhoods and the need to deliver a range of unit sizes. The housing mix is considered to be acceptable.

## **Design and Appearance**

- 6.52 Chapter 12 of the NPPF states that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. It states that, amongst other things, planning decisions should ensure that developments function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development, and should be visually attractive due to good architecture, layouts, and appropriate and effective landscaping.
- 6.53 Policy D3 of the London Plan 2021 emphasises the importance of high-quality design and seeks to optimise site capacity through a design-led approach. Policy D4 of the London Plan 2021 notes the importance of scrutiny of good design by borough planning, urban design, and conservation officers. It emphasises the use of the design review process to assess and inform design options early in the planning process.
- 6.54 Policy SP11 of the Local Plan 2017 requires that all new development should enhance and enrich Haringey's built environment and create places and buildings that are high quality, attractive, sustainable, safe and easy to use.
- 6.55 Policy DM1 of the DM DPD 2017 requires development proposals to meet a range of criteria having regard to several considerations including building heights; forms, the scale and massing prevailing around the site; the urban grain; and a sense of enclosure. It requires all new development to achieve a high standard of design and contribute to the distinctive character and amenity of the local area.
- 6.56 Policy DM6 of the DM DPD 2017 expects all development proposals to include heights of an appropriate scale, responding positively to local context and achieve a high standard of design, in accordance with Policy DM1 of the DM DPD 2017. For buildings projecting above the prevailing height of the surrounding area it will be necessary to justify them in urban design terms, including being of a high design quality.
- 6.57 Policy DM9 of the DM DPD 2017 states that proposals will be supported where they do not detract from the character and appearance of the conservation area and where the new proposal is compatible with the special characteristics and significance of the area.

*Quality Review Panel]*

- 6.58 The proposal was presented to Haringey's Quality Review Panel (QRP), on 24 March 2025. Overall, the scheme was welcomed by the QRP, who noted that it made significant improvements in repairing the urban fabric and the positive relationship with the former Fishmongers Arms and they praised the relationship with the High Road in repairing the urban fabric.

6.59 There were some suggestions regarding potential reconfiguration of commercial space, but this element is no longer part of the proposal. Questions were posed around creating an improved public realm in front of the proposed Block A but this is Highways land and not part of this proposal.

6.60 Further work was highlighted as being needed to address some issues related to:

- the layout of play areas in relation to parking, refuse and potential overshadowing;
- review of internal layout and configuration, removal of basement; simple brick material palette;
- potential ways of softening the relationship between the mews buildings and the road;
- more architectural detailing and potential increased window openings; elaboration of the communal entrances; and
- more accessible cycle stores.

6.61 All of these elements have been successfully addressed since the QRP took place, as detailed in the table below. The full QRP response can be found at Appendix 4.

6.62 The panel's comments and officers' comments in response are set out below:

| QRP Comment  | Officer Response  |
|--|---|
| <i>The Haringey Quality Review Panel welcomes the site layout, height and massing, and building typologies, which are well considered and respond appropriately to the historic setting.</i> | General support for the overall proposal and relationship to the historic setting is noted.   |
| <i>The conflicts between amenity, play, parking, and servicing on the ground plane are symptoms of the intensity of development and need to be resolved.</i>                                 | These areas have been reviewed with officers. The overall density of development is considered acceptable. The basement has been removed, and a greater number of larger homes are now proposed, thus reducing the perception of over intensity.                        |
| <i>The panel supports the relationship with the conservation area but asks that long views of the church spires are protected as the scheme develops.</i>                                    | The submitted proposal respects the surrounding conservation area and will retain the long views of the church spires.  |
| <i>An alternative solution should be found for the children's play space, which is next to refuse and parking, and likely to be overshadowed.</i>  | The scheme has been amended to respond to comments from the QRP and is reviewed favourably by officers. The amenity area has been enlarged to 209 sqm by the removal of two previously proposed accessible car parking spaces, but allows for flexible landscaping that |



|   |  |
|---|--|
|   | can be provided for more parking if required in the future. The refuse area will be screened from the play area. Daylight/sunlight assessments have confirmed that the amenity play area on Neville Place will receive a minimum of 4 hours of sunlight per day, according with BRE guidance.  |
| <i>Neville Place could be remodelled as a shared surface mews, the Blue Badge parking reduced and relocated, and the play space extended.</i>   | As referenced above, two r accessible car parking bays have been removed and this has allowed the proposed landscaped play area to be increased in size, whilst still providing flexibility to be amended in the future if needed. It is seen as positive that access along Neville Place will be retained for businesses, but bench seats and window box landscaping have been introduced to the ground floor elevations.             |
| <i>The highway land and the land in front of the former Fishmongers Arms should make a significant contribution to the high street setting and public realm greening.</i>   | The improvements to the frontage are noted. However, the highway land and the land in front of the former Fishmongers Arms are not within the site ownership and therefore cannot be considered in this assessment. The removal of materials stored in front of the site and repairing the street frontage which would be achieved in this scheme will be positive moves, however, in terms of the relationship with the public realm. |
| <i>The project team should consider replacing the proposed mews flats with a terrace of mews houses on Neville Place. This would resolve many of the design issues and provide more suitable family housing than upper floor flats.</i> | The applicant did not consider this to be appropriate on the grounds that the proposed mews housing is based on market advice from a local agent and the viability appraisal, but larger homes and a greater mix has been incorporated into the design. The mix of home sizes is considered to be acceptable and aligned with policy.  |
| <i>The panel suggests carrying out a detailed review to check that all rooms are of an appropriate size and shape to be usable, and that entrances are welcoming.</i>   | Further detailed design has improved the internal layouts and the room size areas generally, and they are considered to be in compliance with the London Plan standards. All of the proposed new homes will exceed minimum space standards.  |
| <i>The panel suggests that a community use, in the proposed wing adjoining the former Fishmongers Arms, would be more successful than a commercial space.</i>   | The removal of the basement area and the relocation of the cycle stores and plant to the ground floor have reduced the available floorspace for residential use. The introduction of a community use would further reduce the amount of housing that could be provided on  |

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|   | the site and would also have implications in terms of ongoing management and maintenance. The application is supported by marketing evidence to show demand issues for such a space and a viability study that highlights the financial difficulties for delivering even a fully residential scheme in the current economic climate.   |
| <i>The success of the architecture will depend on the quality of the detailing and execution. A simple brick materials palette is recommended, with further articulation to create a distinctive external appearance, especially on the High Road elevations.</i> | The proposed strategy uses a minimal material palette, making use of multi mix brickwork, contrasting brick colours and details and providing subtle changes of texture and colour across the development. The proposed material palette is influenced by the site's immediate context. A simple palette of two brick types is proposed across the three buildings. A contrasting darker brick would be used for the base of the building, which references the datum of the stucco render on the base of the Fishmongers Arms. Stacked soldier course brickwork details are proposed around the entrances to the blocks, giving them a contrasting appearance to the rest of the ground floor   |
| <i>The panel suggests that the basement is removed to reduce embodied carbon and encourage residents to use the bicycle store.</i>  | The basement has been removed, and the ground floor of Blocks A and B have been re-designed to accommodate cycle stores, plant spaces and residential accommodation.   |
| <i>The windows should be sized in relation to noise, daylight, resident quality of life, and the wider context, as well as overheating.</i>   | Detailed facade studies have been undertaken to demonstrate the window sizing rationale. The windows have been designed to maximise sunlight daylight levels but also reduce overheating risks. The typical window across the elevations for bedrooms and living rooms is 1350mm wide x 1650 high; this provides 2.2m <sup>2</sup> of glazing which is a generous proportion of glazing for typical residential rooms. A further study has also been prepared to show the glazing to wall ratio and how the ratios compare to the LETI energy targets. Window opening details have been amended to include a solid infill wall panel that sits below the glazed window opening, this gives the appearance of a larger window aperture on the facade elevation. Additional recessed blank window panels have been introduced to parts of the elevations where there are larger expanses of brickwork. Daylight and Sunlight Assessments have been |

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|  | <p>carried out which confirm that the internal spaces are acceptable. Any larger glazed areas would create potential for overheating and were discouraged by LBH Carbon Management officers.</p>  |
| <p><b>Site layout</b> - The panel supports the site layout, which will help to repair the urban fabric. The two mansion blocks fronting onto the High Road and a mews terrace on Neville Place are an appropriate solution for the site and could relate well to the existing context while also referring back to the historic building footprints. However, concerns were raised regarding the intensity of development and the proposals for amenity, play, parking and servicing.</p>  | <p>The key changes made to the ground floor following the QRP comments are:</p> <ul style="list-style-type: none"> <li>• The mews apartments front elevations, entrances and internal entrances have been amended to provide more generous spaces;</li> <li>• Two car parking bays have been removed and the play space/ amenity space increased and suitable railing and gated entrance are proposed in the landscaping;</li> <li>• A Highways Safety Audit has been undertaken and considered appropriate by Council's Transport officers;</li> <li>• The basement has been removed and the cycle store moved to the ground floor. A separate entrance and frontage to the cycle store facing the High Road has been introduced;</li> <li>• The cycle store has been moved and replaced with a ground floor wheelchair home;</li> <li>• The commercial unit has been removed. A new residential entrance lobby area has been relocated to the corner opposite Block A entrance; and</li> <li>• Cycle store in Block B has moved to the Neville Place frontage.</li> </ul> |
| <p><b>Response to Heritage</b> - The panel supports the relationship that the scheme establishes with Trinity Gardens Conservation Area; and forms a positive response to the heritage setting of the high street and the locally listed Fishmongers Arms. It will be important to retain long views of the nearby church spires and the cupola of Trinity Primary Academy school.</p> <p>The panel is comfortable with the idea of moving the sign on the exterior of the Fishmongers Arms building so that it can be retained when this scheme abuts the flank wall, as long as it remains on the former pub building.</p> | <p>Additional visuals have been provided to better depict the relationship between the proposed site and Fishmongers Arms, as well as views into and out of the site, further giving confidence that this will sit comfortably in the existing setting.</p> <p>The intention remains to move the existing sign from the side wall and onto the front elevation and this will be discussed between the applicant and the owners of that building as part of the Party Wall Agreement.</p>  |

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| <p><b>Landscape</b> - <i>The conflicts between servicing, amenity and parking needs have led to a compromised set of conditions on the ground plane, particularly for the children's play space. An alternative solution is required that will create a high-quality, green and sunny play space, with a place for parents to sit.</i></p>  | <p>This is a compact site, but it is considered that the 209 sqm of communal amenity space in the form of play space and landscaping to the rear of Block A; and 190 sqm next to Block B are cleverly 'worked in' generous amenity that will successfully serve the residential development. The play space is proposed to be located within a safe and secure enclosed space, away from the road, and will be overlooked by residents and even with potential for up to three car parking bays would be suitably screened from the road / parking bays and would incorporate seating for parents. The development would provides significantly more playspace than the London Plan minimum requirement and is considered to be appropriate and convenient for residents. This would achieve sufficient levels of daylight and sunlight. The spaces would provide significant ecological and biodiversity improvements, particularly in what will likely be the less frequently used northern corner.</p> |
| <p><i>The Panel encourages consideration of whether Neville Place could be pedestrianised or shared surface; and a reduction in the number of Blue Badge parking bays. This would allow the play space to extend to Neville Place.</i></p>  | <p>Neville Place will remain a working street and needs to remain functional for the existing businesses to the north. The proposed design and layout are considered to appropriately address this as an activated but continued functional space. The provision of a pedestrian footway and landscaping for the mews buildings is a significant improvement from the existing wall fronting these buildings. The proposed provision of flexible car parking provision and extension of the play area is in response to the comments to the Panel's comments. .</p>   |
| <p><i>The highway land to the front of Block A could make a significant contribution to greening the high street, providing a suitable setting for the buildings, doorstep amenity, and green relief from the busy High Road. The highway land is also the only space on the site that would be sufficient for planting trees of stature, which will be important to provide shade and screening for residents.</i></p> | <p>The area in front of Block A is Highways land and not within the red-line site ownership. Highways are developing their own plans for utilising this space, which will likely create improvements beyond the existing, unauthorised storage of timber. Significant re-planting is proposed in the northern corner of the site to create a buffer to soften the appearance and create an improved visual appearance, as well as BNG and ecological enhancements.</p>  |
| <p><i>Neville Place mews is dominated by</i></p>  | <p>The thresholds have been softened with the</p>   |

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| <p><i>hard landscaping in the visualisations. The panel suggests finding ways to soften the threshold space in front of the homes so that it will feel safer, more human, and will allow residents the opportunity to take ownership of the space for gardening.</i></p>       | <p>introduction of private bench seating located at the front of each mews apartment. The benches are flexible and allow to sit outside or personalise with plants should future residents so wish.</p>  |
| <p><i>The panel also noted that a significant amount of space on the private terraces is consumed by the air source heat pumps and alternative locations should be considered.</i></p>   | <p>The proposed energy strategy has been developed further by BWB Consulting. These have been relocated and are considered to provide a suitable sustainability response whilst maintaining usable private amenity spaces.</p>   |
| <p><b>Quality of Accommodation</b> - <i>The panel is concerned about the strategy of splitting the mews houses along Neville Place into flats. Ten flats with the larger family homes on the upper floors is overly complex.</i></p>   | <p>The mews apartments have been cited as providing the most viable response to the site. Early preapplication designs considered including, houses but a local agent has advised the applicant that a mixture of apartments would be more viable. Key amendments have been made following the QRP comments, including:</p> <ul style="list-style-type: none"> <li>• The ground floor entrance lobbies to the duplex apartments have been increased in size to allow for storage of bikes and prams etc upon entry. Feature windows have been added to the entrance lobby to allow light into the entrance and views out to the street.</li> <li>• Externally, small stone benches have been incorporated into the mews elevations that provide niche areas to sit outside of each house; the benches could also be used for planting areas allowing residents to personalise the front of their houses.</li> <li>• The mesh privacy screens have been removed from the front and rear elevations. The windows at first floor level have been reconfigured with an extra window added to the first floor main bedroom. The additional window adds further glazing to the front elevation.</li> <li>• Following the submission roof terrace screening has been increased to avoid overlooking to neighbours on Trinity Road.</li> </ul> |
| <p><i>Seven houses could be cheaper to build, easier to market, and help the project team to provide affordable family homes. This solution would also mean that each house would deal with its own refuse, removing the need for the bin store at the end of the mews</i></p> | <p>Refer to response above.</p>  |

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| <i>next to the children's play space. The panel thinks that this alternative solution is worth exploring for its multiple commercial, design and planning benefits.</i>   |   |
| <i>Currently many of the homes are tightly planned, with little flexibility. The external massing, angled in response to the context, has led to unusual room shapes inside many of the flats. A detailed review of every home should be carried out to check that all rooms are of an appropriate size and shape to be usable.</i>   | Angling of the built form has been addressed for more useable floor plan layouts and detailed floor plans have been provided to show how the internal areas would successfully be configured to work within these spaces. The flats are considered to provide useable floor plans.  |
| <b>Commercial space</b> - <i>The panel recognises the planning policy to retain employment uses on the site but is concerned that the commercial space may not be attractive to a suitable tenant compatible with the residential setting and could lie empty. If this could provide space for a community use, then the panel recommends relocating the space to the southern part of the ground floor of Block A.</i> | The market appraisal report prepared by PSS Commercial confirmed that the supply of E class properties within three miles of the site far outstrips demand and reflected the general decline in demand for offices since 2020. The assessment concluded that new commercial floorspace was likely to be difficult to let. It is noted that the Panel also felt that a commercial space might not be occupied for a compatible use. The commercial unit in Block B has been removed. The ground floor entrance has been relocated to the corner of Block B, directly opposite the entrance to Block A. The scheme has a challenging viability position, and though a community use would benefit the area, it is not considered to be feasible on this occasion. |
| <b>Architecture</b> - <i>The proposed massing with angled corners could work well, but its success will depend on the quality of the execution and the panel has not yet seen enough details to comment.</i>  | Further details have been provided as part of the planning application submission. Officers are satisfied that the indicative materials are acceptable and further detail will be required through condition.   |
| <i>Details such as material junctions, rainwater pipes and soffits should also be considered, as these will make a significant difference to the quality of the completed buildings.</i>  | This is noted and detailed consideration will be given to this at the detailed design stage; details will be secured by condition.  |
| <i>Brick works well as the primary material and the panel welcomes the articulation of the soldier course around the building parapets.</i>   | Further design work for the elevational treatment has taken place, as demonstrated by the application submission.   |

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| <p><i>The panel recommends further articulation of the front elevations of Blocks A and B to create buildings with appropriate stature and presence for the high street's historic setting. This could be achieved through increasing the floor to ceiling height of the ground floors, as well as through detailing and materials.</i></p>                                       | <p>The floor to ceiling height at ground floor is 3375mm. The base of the building is proposed in a contrasting darker brick work that references the datum of the stucco render on the base of the Fishmongers Arms. The entrances have been updated with Block B entrance now moved to the south east corner. The entrances for both blocks are now adjacent to each other providing two distinctive entrances to both buildings. Stacked soldier course brickwork details are proposed around the entrances giving them a contrasting appearance to the rest of the ground floor. The recessed entrances will have 2700mm high entrance doors and generous lobbies providing open and welcoming entrance spaces. In order to further articulate the windows on the elevations a concrete panel below the cill level has been added. This provides further definition to the overall appearance of the window within the facade elevations. On the east and west façades where there are larger areas of brick facade blank recessed brick, panels have been introduced to provide further relief and articulation to the facade appearance.</p> |
| <p><i>The panel also recommends elaborating the entrances to create a sense of dignity and arrival. The proportions of the windows are small relative to the neighbouring existing buildings. The panel discourages the use of screens on the mews windows fronting Neville Place. The balconies could be more elegant, with the corner posts made slimmer or eliminated.</i></p> | <p>Entrance lobbies for Block A and B have increased glazing areas providing active frontages with bright and welcoming entrances. The privacy screens in the front elevation of the mews buildings (Block C) were removed and it was proposed that curtains or blinds would provide the necessary controlled privacy for the residents. Balcony columns are now reduced in size; the balustrade would be solid up to 800mm high to provide privacy screening at lower levels especially when seated.</p>  |
| <p><b>Sustainability</b> - <i>The proposed basement is an expensive and carbon intensive solution for bicycle storage and plant space. The panel asks for a whole life carbon assessment to be completed to inform the best possible solution.</i></p>  | <p>The basement has now been removed and cycle and plant have been moved elsewhere within the development. Sufficient and acceptable carbon management information has been submitted with the application; subject to condition.</p>  |
| <p><i>The panel suggests that having all bicycle storage on the ground floor will make access easier for residents, encouraging active and sustainable travel. Bicycle stores can also become</i></p>   | <p>Cycle storage has been relocated to the ground floor. Plant and servicing is relocated to the west elevations facing Neville Place giving priority frontage to the west side ground floor facing the High Road.</p>   |

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| <i>a positive point of activation for the streetscape.</i>  |   |
| <i>The scheme's energy use intensity figures are unexpectedly high despite low U-values, which suggests that the proposed form factor could be causing heat loss. The panel advises further work to resolve and improve this. Passivhaus design should be considered.</i> | The applicant has confirmed that the form factor has been tested, and the results are included in the Design Response. These confirm that the form factor is within an acceptable range with an average form factor of 1.8. The EUI Energy Use Intensity has also been confirmed as 44kwh/m2/year   |
| <i>The windows do not feel sufficiently generous for good resident quality of life, or to respond to the grandeur of the high street context. The window openings should be shaped in relation to noise and daylight assessments as well as overheating.</i>              | There is a balance to be struck between design, achieving sufficient daylight/sunlight and heat optimisation. The windows have been carefully sized to provide adequate sunlight/daylight whilst minimising overheating. The windows have been amended with a lower infill panel added to the window opening. This is considered to be a suitable design feature to ensure breaking up of the façade whilst optimising functionality. |
| <i>The project team is encouraged to ensure that the sustainable drainage system, including permeable paving, are embedded in the landscape designs to improve the scheme's climate resilience.</i>   | A sustainable drainage strategy has been submitted and is considered acceptable by officers.  |

### *Scale, Massing and Detailed Design*

- 6.63 The existing timber merchant site contains single storey warehouse storage buildings and open storage. The buildings currently occupying the site have limited architectural merit nor any potential to be retrofitted for residential use. As such demolition of the existing buildings is considered acceptable if a more appropriate redevelopment of the site can be achieved.
- 6.64 The existing built form in the surrounding area is predominantly four storeys along this part of the High Road frontage, with a more conventional residential scale toward the rear of the site, including the residential terraces of Trinity Road running perpendicular to the High Road. In this existing context, Officers consider the staggered height of the proposed buildings fronting the High Road (Blocks A and B) would provide a suitable scale and massing. Officers agree with the QRP comments that the development would provide a suitable repairing to the urban fabric compared to the existing timber merchant use.



- 6.65 Officers also agree with the QRP comments that the proposed form provides desirable transition between the existing link of the former Fishmongers Arms public house on the southern boundary, and the existing massing of Morant Place along the northern site boundary. Design evolution and greater architectural detailing since the QRP comments is considered to be successful and would enhance this relationship further. The scale, height and massing of the proposed buildings on the High Road frontage are considered to be appropriate within the site's context. The layout, height and massing was also supported by the QRP.



*Image 7 – Relationship between former Fishmonger Arms and Block A*

- 6.66 Blocks A and B would be constructed in brick with a strong base, middle and roof level and inset balconies. The ground floor brickwork would have subtle changes in tone and vertical brick placement in parts to create an elegant distinction and emphasised base. The floor levels would not align with those of the existing neighbouring building of the former Fishmongers Arms due to the distinct public house design of that building but the massing and design details are considered to successfully integrate into that locally listed building.



*Image 8 – Successful transition between former Fishmongers Arms and Block A and B*

- 6.67 Window openings in both blocks A and B have been increased and amended following QRP comments. This has been done through the insertion of lower panels below the glazed part of the window, rather than increasing glazing, to avoid overheating of these rooms. This is considered to be an elegant and suitable design solution, which successfully balances façade composition, internal daylight and sunlight provision and overheating best practice.
- 6.68 The applicant has advised that every effort will be made, in discussion with the neighbouring property owner, to ensure that the existing historic signage on the side wall of the former Fishmongers Arms would be re-located higher up on the former public house building. The sign is outside of the application site so relocating it cannot be conditioned but an informative will advise that this is recommended. The applicant has confirmed that best endeavours will be taken to ensure such relocation and that this will be part of the Party Wall discussion with that neighbour, but ultimately the decision will be at the discretion of the neighbour.
- 6.69 The part two, part three storey height of the 'Mews Terrace', Block C, would be located behind the buildings A and B and is considered to be a suitable transition to the more residential setting of Trinity Road. The proposed roof profile would allow for roof terraced amenity areas between each of the upper floors, thus breaking up the massing at roof level.
- 6.70 The existing boundary treatment along the shared boundary with those rear gardens of Trinity Road is that of a high wall / fence, proposed to be replaced.

Public consultation comments suggest that there is a desire to retain this in part or throughout and the applicant has advised that they are happy to review this through Party Wall Agreement discussions with neighbours. Whether the proposed 2m height or higher, up to 3m, is proposed as the final height, the boundary treatment can be suitably addressed through condition to ensure it preserves amenity and safety whilst having suitable appearance.

- 6.71 First floor and roof level massing would be largely set back from the rear boundary, with the predominant massing being an angled element for the proposed stairs. The setting back has been deliberately designed to minimise the massing and to avoid appearing overbearing.
- 6.72 The rooftop amenity spaces would be screened with simple but elegant metallic railings by means of balustrade. These would have a lower height in the front elevation, but an amendment has been designed to increase their height along the rear elevation to avoid excessive overlooking to the properties in Trinity Road. The final home in this terrace would have higher screening around the side to avoid the same overlooking concerns to the gardens of nos.10 and 11 Trinity Road, which have gardens that extend beyond the front elevation of the proposed Block C. All of these railings would sit on dwarf walls, which will include planters and are considered to successfully integrate into the proposed design. These, as with all materials and boundary treatments, will require further details to be submitted through condition.
- 6.73 The windows in the front elevation of Block C have been amended to conventional openings rather than the angled design presented at pre-application discussions and to QRP. This amendment was in response to the QRP and Officer advice that such angled windows were not required, given that the opposite side of Neville Place is in commercial use. As with Blocks A and B, Block C would have a brick base with recessed metallic sheet roofs. The simple palette of materials is supported.
- 6.74 Block C would have independent street access and generous internal lobby areas. The massing of this terrace would be set back from the existing building line in order to create a pedestrian footway (pavement) to ensure a useable and inviting access to these homes. The frontage would replace the imposing wall abutting parking bays and would better activate this frontage. The street level is proposed to be enlivened further through the use of benches, integrated planting boxes, larger windows and window detailing and recesses, as well as inclusion of playful frames and canopy above the entrance door. These features are considered to successfully incorporate QRP and Officer advice and provide a much improved frontage in the context of the existing structures.
- 6.75 A commercial unit was previously proposed in the base of Block B (referenced in the QRP response), but this has since been removed to provide a further home, and additional storage areas for bikes and plant machinery. This is in part due to

an anticipated lack of demand for a commercial use and allows for the removal of the basements in Blocks A, which in turn 'unlocks' the potential to provide a residential development of high quality. The removal of the basement and provision of a street level bike storage area was suggested by Officers and QRP. These amendments are considered to provide significant improvements in terms of carbon reduction, layout and accessibility.

- 6.76 Pre-application proposals included substantial landscaping in front of Block A. However, Transport Officers have commented that although that area of land has been (and currently still is) used by the applicant for material storage, it is actually LBH Highways land and therefore outside of the applicant's ownership. It is unclear at this point how the Council's Highways department might progress the use or design of that area of land but the design of Block A has ensured that it can function without stymying future plans for that area.
- 6.77 The proposal would provide approximately 209 sqm of communal amenity space in the form of play space and landscaping, which would be sited behind Block A. There is potential for a further two car parking bays to be provided adjacent to this area if the need for those spaces arises, but this would still ensure suitable boundary treatment of the playspace / amenity area so that there would not be a conflict between the functional street and the amenity space. An additional landscaped area of approximately 190 sqm would be sited adjacent to Block B and along the northern boundary of Morant Place. This would provide more of a wild flower garden and likely used less for day to day amenity but would allow residents to enjoy that space, as well as providing significant urban greening, ecological and biodiversity benefits.
- 6.78 Overall, officers and the QRP agree that the proposed layout, scale and massing is appropriate for this site that would repair the urban fabric of the street and respond positively to the existing streetscene and surrounding area. Officers consider that the design detailing has successfully addressed the advice from QRP and that this is a desirable improved design and appearance for the site and wider area.
- 6.79 **Heritage and Conservation**
- 6.80 Paragraph 215 of the NPPF sets out that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
- 6.81 Policy HC1 of the London Plan 2021 is clear that development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail and places emphasis on integrating heritage considerations early on in the design process.

- 6.82 Policy SP12 of the Local Plan 2017 seeks to maintain the status and character of the borough's conservation areas. Policy DM6 of the DM DPD 2017 continues this approach and requires proposals affecting conservation areas and statutory listed buildings, to preserve or enhance their historic qualities, recognise and respect their character and appearance and protect their special interest.

*Legal Context*

- 6.83 The Legal Position on the impact of heritage assets is as follows. Section 72 (1) of the Listed Buildings and Conservation Areas Act 1990 provides: 'In the exercise, with respect to any buildings or other land in a conservation area, of any functions under or by virtue of any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.' Among the provisions referred to in subsection (2) are 'the planning Acts'.
- 6.84 Section 66 of the Act contains a general duty as respects listed buildings in exercise of planning functions. Section 66 (1) provides: 'In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.'
- 6.85 The Barnwell Manor Wind Farm Energy Limited v East Northamptonshire District Council case tells us that 'Parliament in enacting section 66(1) intended that the desirability of preserving listed buildings should not simply be given careful consideration by the decision-maker for the purpose of deciding whether there would be some harm, but should be given "considerable importance and weight" when the decision-maker carries out the balancing exercise.
- 6.86 The application site lies partially within the Trinity Gardens Conservation Area, adjacent to the locally listed building of the former Fishmongers Arms. The site also lies within the setting of several Grade II Listed buildings, including the trough to the front of the Fishmongers Arms, the Church of St Michael and All Angels, Trinity Primary School, Braemar Avenue Church. The locally listed Greek Orthodox Cathedral of St Mary is also within the site context.
- 6.87 The spires and cupolas of the buildings within Trinity Gardens (Church of St Michael and All Angels, Trinity Primary School, Braemar Avenue Church, and the Greek Orthodox Cathedral of St Mary) form an important part of the townscape, particularly around the gardens themselves. The spire of Church of St Michael and All Angels are notable landmarks along the High Street, particularly when approaching from the north. Therefore, the prominence of these features creates an important part of their significance of the Trinity Gardens Conservation Area.



- 6.88 The existing site is in use as a timber yard with a low subordinate set of buildings. However, the clutter stacked materials and racking associated with its use clutter the streetscene which is minorly detrimental to the setting of the Grade II listed water trough, the locally listed Fishmongers Arms and this part of the Conservation Area.



*Image 9 – View of Greek Orthodox Cathedral of St Mary*

- 6.89 The proposed development has been progressed significantly during the pre-application discussions and further refined at application stage. The building line has been designed to allow the former Fishmongers Arms to remain visible in views south along the High Road. The spire of the Grade II listed Church of St Michael and All Angels and the Former Fishmongers Arms landmark features would also retain prominence in this setting and remain identifiable markers of the beginning of the Trinity Gardens Conservation Area. Building heights have been amended to better align with the adjacent buildings, including the locally listed building, and this means the development sits comfortably within this setting.



*Image 10 – Southward views from High Road*

- 6.90 The viewpoints submitted in support of this application show that the proposed buildings would be visible from Trinity Gardens but would sit comfortably within that roofscape. Whilst these would sit above the existing 19<sup>th</sup> Century houses which line the open space, they would not obstruct any of the views of the existing listed buildings, nor are they large enough to be dominant additions and would maintain the ability to appreciate the spires and cupolas which mark the Conservation Area. The buildings would fit in with a pattern of existing larger buildings sitting on the edge and just outside of the Conservation Area.



*Image 11 – Views from Trinity Road Gardens (no leaves on trees)*

- 6.91 There are existing older blocks visible within this setting, but their most conspicuous characteristic is generally the poorly considered plant and rooftop additions. The parapet and plant on the proposed development have been holistically designed into the building form which would minimise their impact and provide a better roofscape than that of the existing buildings. Furthermore, a condition would restrict any telecommunications equipment on the roof and a communal antenna would also be required and detail of any plant required at roof level.

- 6.92 The massing of the buildings has been reduced and formed around providing a softer transition towards the locally listed former Fishmongers Arms, staggering height to align with a smaller 'link' element of that building. The geometries of the balconies and the different floor heights have been successfully designed through collaboration with Officers and taking into account QRP comments. These would provide a series of terraces set back to allow the locally listed buildings features to remain appreciable from the street and in medium range views. The sign from the Fishmongers Arms is shown as being relocated on the front elevation of that building, which is considered to be acceptable.
- 6.93 The high quality but simple architectural treatment of the development has been designed to avoid competition with the adjacent buildings and the approach outlined in the design and access statement is supported. High quality detailed design and materials will be ensured through the imposition of conditions.
- 6.94 The loss of the visual clutter to the street, removing the stacking and material stacks associated with the current use are welcomed in providing a beneficial impact to the locally listed Fishmongers Arms, Grade II listed Trough and to this section of the Conservation Area. The impact on views from further within the Trinity Gardens Conservation Area would cause some minor harm to its significance through the additional massing above the 19<sup>th</sup> Century buildings, however the impact of this additional taller massing would be mitigated through design interventions that would minimise visual clutter and the conspicuousness of this additional massing, ensuring it is a background element in views. Since the spires and cupolas remain important features of the roofscape, the proposal would have a neutral impact on the significance of Church of St Michael and All Angels, Trinity Primary School, Braemar Avenue Church and the Greek Orthodox Cathedral of St Mary.
- 6.95 Overall, considering and balancing all aspects of the scheme, the development would have a resultant neutral impact on the identified affected heritage assets and is supported by officers.

### **Residential Quality**

#### *Layout and living conditions*

- 6.96 Policy D6 of the London Plan 2021 sets out housing quality, space, and amenity standards, with further detail guidance and standards provided in the Mayor's Housing SPG. Policy SP2 of the Local Plan 2017 and Policy DM12 of the DM DPD 2017 reinforce this approach at the local level.

#### *Accessible Housing*

- 6.97 Policy D7 of the London Plan 2021 and Policy SP2 of the Local Plan 2017 require that all housing units are built with a minimum of 10% wheelchair



accessible housing or be easily adaptable to be wheelchair accessible housing. All homes would benefit from level means of entrance.

- 6.98 Of the proposed 36 new homes within the scheme, 3 of them would be designed to comply with Part M4(3) (Wheelchair User Dwellings) of the building regulations, alongside the provision of a wheelchair accessible parking bay provided adjacent to the dwelling.
- 6.99 All proposed new homes would exceed housing standard area requirements and broadly adhere to Part M4(2) of the Building Regulations with all dwellings being adaptable where possible. Due to the constrained nature of the site and the proposed access strategy, the duplex apartments in Block C incorporate entrances that comply with Part M4 (1) but upper floor levels will meet Part M4(2) standards. The reason for non-compliance is that the duplexes in Block C contain an entrance at ground floor level but cannot reasonably accommodate a WC or living area at the main entrance level, so the homes do not fully achieve the Part M4(2) requirement. However, given the layout, it is not considered reasonable for this to be a requirement or to have a lift for these homes and this is considered acceptable given the other options for housing on site.
- 6.100 All of the proposed new homes would exceed minimum space standards. Of the 36 proposed new homes, 33 homes would be dual or triple aspect and none of the single aspect homes would be north or south facing. The small number of single aspect homes would be for 1b2p occupancy and served by recessed balconies. The Daylight/Sunlight Assessment has confirmed that the scheme would provide good levels of daylight/sunlight internally.
- 6.101 All proposed new homes would exceed minimum space standards. All new homes are considered to be well laid out, providing useable living spaces and sufficient internal storage space. The proposed angled layout of the massing of Blocks A and B would aid the provision of dual aspect homes. Likewise, for the layout of the mews apartments and maisonettes. All of the proposed homes would be served by private amenity space in the form of a balcony that meets the requirements of the Mayor's Housing SPG. Quality designed, policy compliant, usable Communal amenity and play space would also be provided on the site.
- 6.102 The QRP have commented on potential issues of usability of some of the flats, but the applicant has provided detailed floor plans that show how the amended layout will be better utilised for future residents' needs. The living areas are all open plan, largely due to the apartment form of housing and to best utilise the access to private amenity space and cross ventilation. These living areas are proposed to be served by conveniently placed windows which would mitigate potential conflicts of uses within this space, and officers consider that this is an acceptable layout for the typology of apartment living provided.

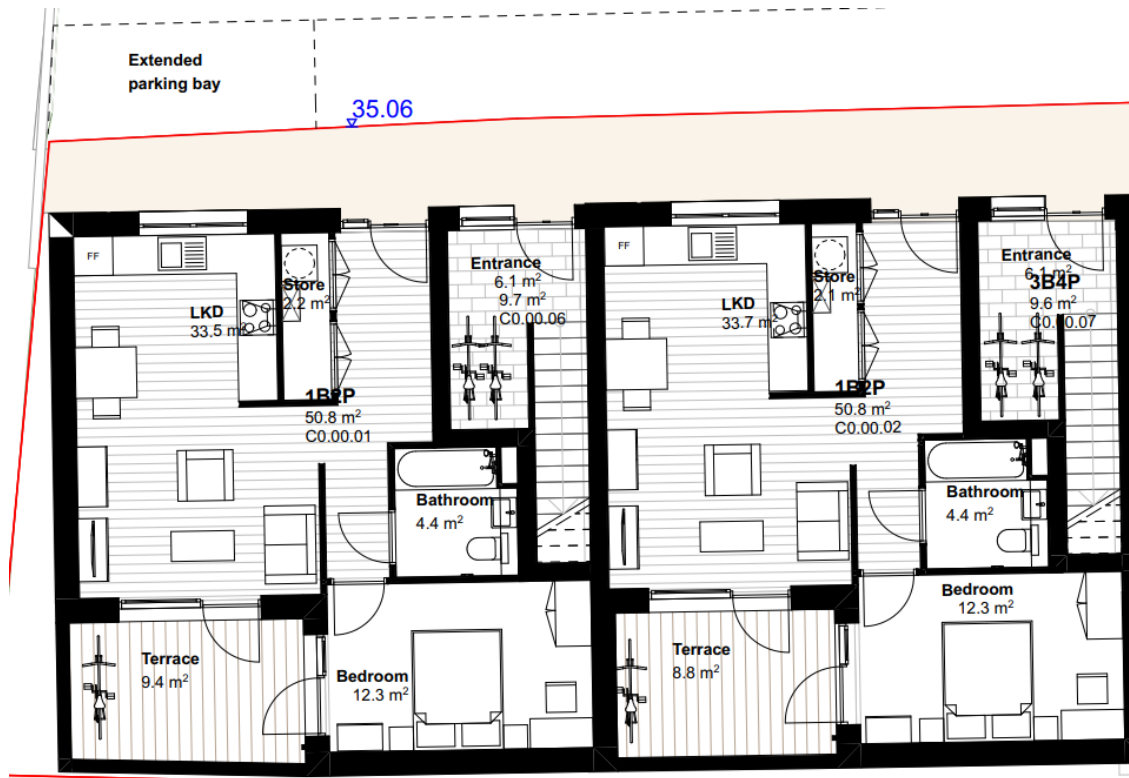
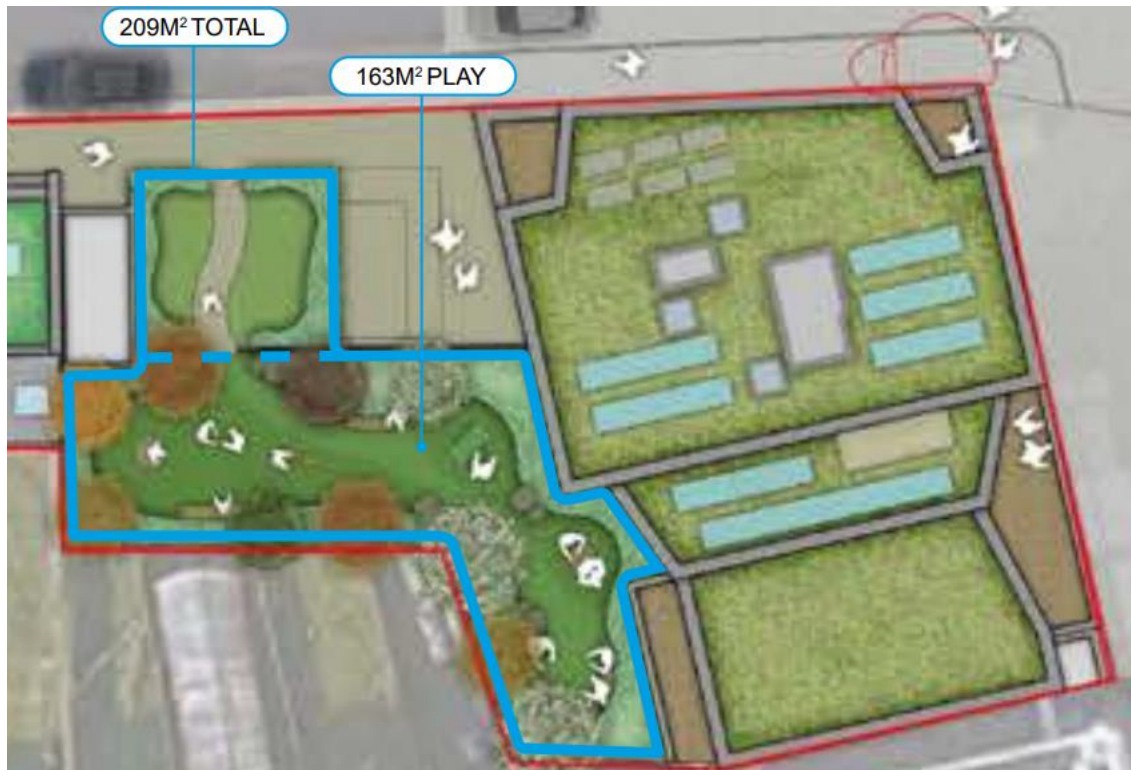


Image 12 – 'Mews Terrace' ground floor layout

#### Amenity and Play Space

- 6.103 Policy S4 of the London Plan 2021 requires residential development proposals to incorporate good-quality, accessible, safe play provision for all ages and at least 10 sqm per child.
- 6.104 Policy DM12 of the DM DPD 2017 requires new housing to be of high quality. Ground floor family housing should provide access to private garden/amenity space and family housing on upper floors should have access to a balcony and/or terrace, subject to acceptable amenity, privacy and design considerations, or to shared amenity space and children's play space.
- 6.105 The site is well served by larger playing spaces in the vicinity such as Trinity Gardens and Crescent Gardens, with Nightingale Gardens, Avenue Gardens and Woodside Park also in easy walking distance. The GLA play space calculator projects a child yield of 6.6, thus requiring 66.2sqm of play space. This would all be provided on-site and aimed at younger children who will not be able to independently go to the wider amenity spaces in the vicinity.



*Image 13 – Amenity space behind Block A*

- 6.106 The proposed main amenity space would be sited behind (west of) Block A and this would provide doorstep play equipment for all future residents, with an emphasis on play for younger children. This amenity space would be 209sqm in area, with a landscaped buffer between this space and the ground floor homes. The size is well in excess of minimum policy requirement but may be reduced to approximately 165sqm if the landscaped entrance is required to be utilised for further accessible car parking bays. Any such change would need to ensure a safe access point to the amenity space closer to the rear elevation of Block A. Alternative designs for this potential arrangement would be required through condition and S106 obligations. In either scenario the minimum policy playspace requirement of 66.2sqm would be comfortably achieved and exceeded.
- 6.107 The amenity strategy has been designed to ensure that the area closest to the rear gardens of Trinity Road and the rear of the ground floor flat in Block B would be more of a quiet reflection area. The play equipment for younger children would be in the less noise sensitive areas closer to Neville Place. The applicant has been advised that the low level natural play equipment should be combined with more traditional swing / slide / climbing frame type equipment as well, but details of such equipment would be finalised through landscape detail, a requirement imposed by a condition.
- 6.108 A British Research Establishment (BRE) assessment has been submitted in support of the application, showing that this amenity space would receive good

levels of sunlight and daylight and allaying QRP fears that this would be too dark and overshadowed. The space would be bounded with suitable railings, which would provide secure space without feeling too enclosed. This amenity area is in close proximity to the car parking bay to be provided from the outset and a potential further two parking bays. However, this is considered to have minimal vehicle movements and would be suitably laid out to avoid conflict between the parking and play uses.

- 6.109 Overall, this main amenity space is considered to provide good quality amenity for all future residents, including suitably integrated and inclusive play for children, whilst responding to concerns from residents and being sympathetic to future residents within the site. The amenity space will exceed the requirements of the GLA play space calculator.
- 6.110 An additional landscaped area would be sited adjacent to Block B, along the northern boundary of Morant Place and would be accessible to all residents. This would be approximately 190sqm in size, and is anticipated to be more of a rich landscaped area providing a pleasant setting and visual amenity. This would provide significant ecology and urban greening and provide significant biodiversity improvements. The area would also incorporate railings of a sympathetic design, and would have passive surveillance from windows opening onto the area.
- 6.111 Overall, the amenity spaces are considered to be well designed and to provide a good balance between use by future residents and ecological and biodiversity enhancements. The proposed amenity spaces would have adequate levels of sunlight and the scheme would meet BRE guidance for amenity spaces.

### **Impact on Amenity of Adjoining Residents**

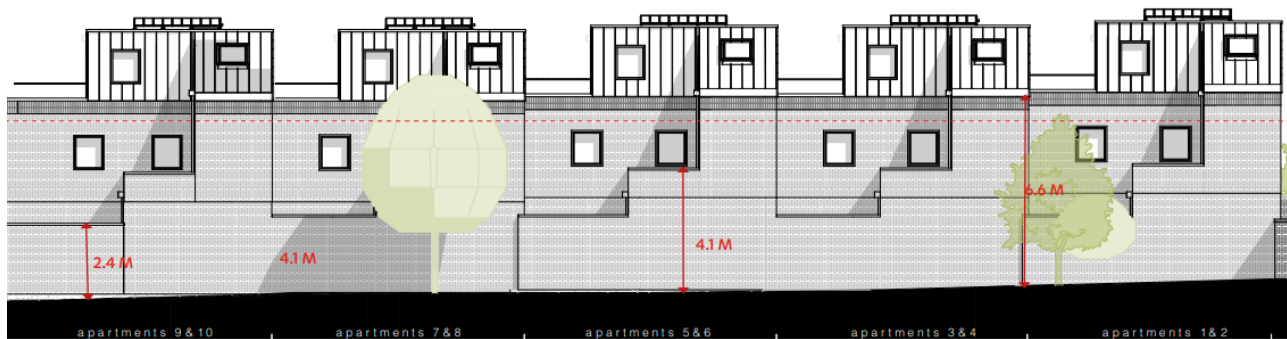
- 6.112 Policy D3 of the London Plan 2021 requires that proposals deliver appropriate outlook, privacy and amenity. Policy DM1 of the DM DPD 2017 states that development proposals must ensure a high standard of privacy and amenity for the development's users and neighbours. Proposals should provide appropriate sunlight, daylight and open aspects to all parts of the development and adjacent buildings and land.
- 6.113 Proposals should avoid giving rise to overlooking and loss of privacy that would be detrimental to the amenity of neighbouring residents and should address issues of vibration, noise, fumes, odour, light pollution and microclimatic conditions likely to arise from the use and activities of the development.
- 6.114 The scale, mass and siting of the proposed development are of particular importance given the proximity to the residential dwellings in Morant Place, High Road residents in the former Fishmongers Arms and the terrace of housing along Trinity Road, which the proposed mews development (Block C) would 'back' on

to. Dogan Terrace is referenced in the assessment, which is the first part of the Trinity Road terrace toward the High Road end.

*General relationship and overbearing impact*

6.115 The staggered footprint of Block B, the angle of the proposed / existing buildings and the setting off from the boundary from Morant Place would minimise any oppressive impact of the development on the nearest windows in the front elevation of that building and avoids direct overlooking. The front and rear elevation of Block A would align with the link block of the former Fishmongers Arms so would be sympathetic to these neighbours.

6.116 There are existing buildings and structures to the rear of the existing timber yard which would be demolished prior to the construction of Block C. The existing height along the rear boundary adjacent to the rear gardens of Trinity Road is approximately between 5m and 5.5m. The proposed massing along this boundary would be staggered, ranging from approximately 2.4m to approximately 4.3m at first floor. The angled second floor roof, accommodating the stairwell for the proposed duplex flats, would have widths of approximately 2.8m, eaves heights of approximately 6.6m and maximum height of 9.2m, with the maximum height set in from the rear boundary by approximately 2.7m.



*Image 14 - Block C – staggered massing*

6.117 The stairwells for each upper floor duplex home for proposed Block C, would create some additional height above the existing boundary treatment along the rear gardens of Trinity Road. However, these would only be approximately 1.5m higher than the existing boundary heights and be just 2.8m wide. The gap between each of these stairwell elements would be approximately 6.2m and within those gaps the lower ground floor heights are less than the existing boundary treatment. The staggered heights along this boundary, as opposed to the continuous height of existing is considered to be a sympathetic approach to addressing these neighbours and would not have a significantly overbearing or oppressive relationship with them.

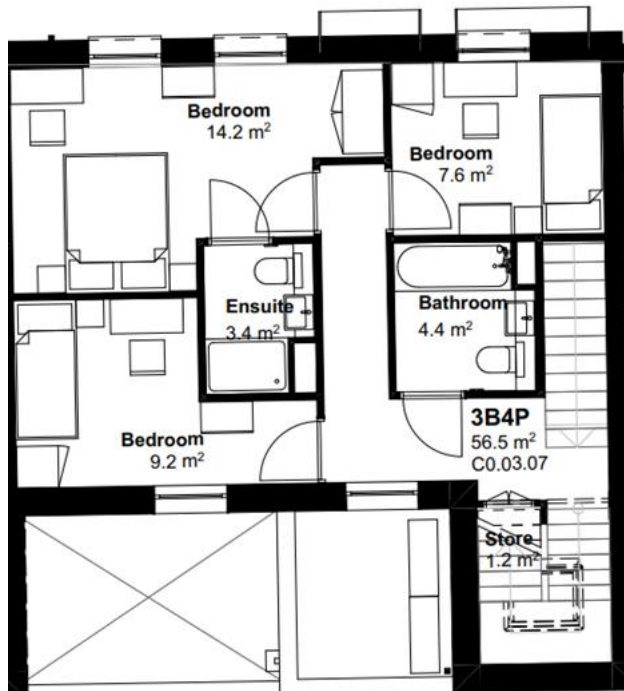


Image 15 – Block C - first floor layout

6.118 All rear windows in the main rear elevations of 1-9 Trinity Road are at least 15 metres or more from the first floor of the proposed mews.

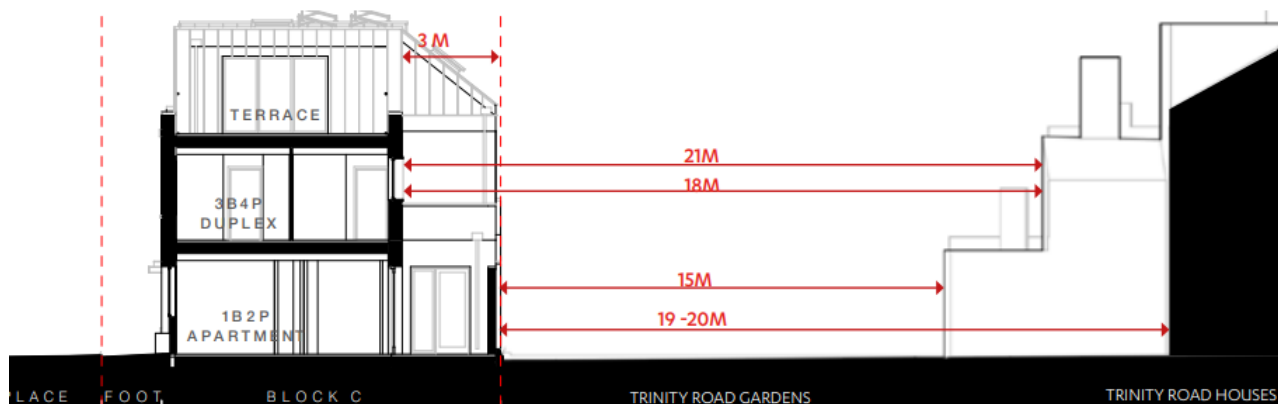


Image 16 – Separation between Block C and existing homes on Trinity Road

6.119 The rear gardens in the eastern end of the terrace (1-5 Dogan Terrace) are shorter than those of 1-9 Trinity Road but the area to the rear of these gardens is proposed as the main communal amenity space rather than for building development. The height of the boundary wall would be less than that of the existing, so would be an improvement in this regard. However, whilst there are clear benefits in reducing the massing in relation to the Dogan Terrace dwellings, issues of safety and noise have been raised and are considered in more detail in the amenity section.

- 6.120 The applicant has advised that they are willing to address boundary treatment with neighbours through party wall agreements and that they are open to confirming the height through that consultation. A condition has been imposed which would require that the heights of the boundary treatment would be confirmed prior to commencement of development. If these are requested to be slightly higher than the proposed through that process, but no higher than 3m, which is lower than the existing, then the impact on these neighbours will be no worse than existing. If they are to be lower than the existing, then suitable design and landscaping would be required to ensure that security and amenity will be maintained. It is considered that such flexibility can be considered within the imposed condition.
- 6.121 Overall, it is considered that the proposed massing has been designed to be considerate to the adjacent neighbours and would not create a material sense of enclosure or an overbearing impact on existing surrounding and adjacent residents.

*Daylight and sunlight impact*

- 6.122 In support of the planning application, a BRE Daylight and Sunlight Analysis by BWB has been submitted. The report provides an assessment of the potential impact of the development on daylight and sunlight levels / conditions on neighbouring existing buildings and their respective existing amenity spaces against guidelines within the Building Research Establishments (BRE) 'Site Layout Planning for Daylight and Sunlight: A guide to good practice' 2022 edition.
- 6.123 The submitted report assesses the development against the BRE methodologies relating to daylight. The Vertical Sky Component (VSC) is assessed, which is a measurement of the percentage of illuminance that a point can receive from an overcast sky as a percentage of that received at unobstructed horizontal locations. In simple terms, how much of the sky that can be seen for a given point.
- 6.124 Annual probable sunlight hours and winter probable sunlight hours, also referred to as APSH and WPSH, are also used for the assessment of impact on neighbouring buildings by a proposed development. APSH and WPSH are a measure of probable direct sunlight to a window or surface and therefore are only relevant to windows within 90 degrees of south for buildings in the northern hemisphere.
- 6.125 The site is located within an urbanised area within London, where existing results for daylight and sunlight are already lower than would be found in more suburban areas. This means that a number of windows to neighbouring property already have less than 27% VSC levels as existing.



- 6.126 The results are generally in keeping with BRE guidance and where there are shortcomings these are considered to be justified. Eighteen (18) out of 20 windows in Dogan Terrace, Trinity Road achieve BRE guidance recommended levels. Where these do not comply, they are mainly to windows that have existing low levels and the loss is only just below the 80% guideline. These are considered to be low or very low impacts on the overall levels of daylight to these properties. The remainder of Trinity Road and those windows assessed in High Road, would achieve guidance levels or above for 100% of windows.
- 6.127 Neville Place has more instances where the proposed levels of daylight compared to existing levels are below 80%, but these are still generally upwards of 75% of existing, so only just below guidance. It should be noted that these are non-residential windows and therefore are much less sensitive.
- 6.128 For the purposes of sunlight assessment, the properties on Trinity Road are north facing so do not contain windows that are facing the proposed development within 90° of due south, the sunlight assessment is therefore not applicable to them. Impacts on High Road buildings and Morant Place are considered to be negligible and losses that are not considered to be material in an urban setting.

#### *Overshadowing*

- 6.129 The BRE Guidelines suggest that the Spring Equinox (21 March) is a suitable date for the assessment to be undertaken as this is the midpoint of the sun's position throughout the year. Using specialist software, the path of the sun is tracked to determine where the sun would reach the ground and where it would not. *'[...] It is recommended that for it [an amenity space] to appear adequately sunlit throughout the year at least half of a garden or amenity area should receive at least two hours of sunlight on 21 March. If as a result of new development an existing garden or amenity area does not meet the above, and the area which can receive two hours of sun on 21 March is less than 0.8 times its former value, then the loss of sunlight is likely to be noticeable [...]'.* The applicant has undertaken a Sun Hours on Ground (SHOG) method of overshadowing assessment in this regard.
- 6.130 Many of the properties in Trinity Road, including Dorgan Terrace, already experience levels of overshadowing below BRE guidance due to the orientation of their own buildings and existing structures in relation to their gardens. The two mainly impacted gardens would be those at nos.10 and 11 who have gardens that extend beyond the side / front elevation of the proposed mews development (Block C). The impact is generally considered to be minimal as the gardens already receive limited sunlight to gardens due to existing structures and vegetation, and the reduction would be marginal and not significantly worsen the existing situation.



- 6.131 The vast majority of the assessed gardens and amenity spaces fully adhere to the BRE guidelines and will continue to receive adequate sunlight on the 21st of March and those that are impacted are considered to have a negligible impact beyond the existing levels. As such the impact on overshadowing is considered to be acceptable.

*Privacy / Overlooking*

- 6.132 The existing rear boundary treatment is a blank fence / wall, so the introduction of any new windows in the proposed rear elevation of Block C, facing onto this boundary could have an overlooking impact. A ground floor rear boundary for the small courtyard amenity spaces of the ground floor flats is proposed to be over 2m high, which is considered to ensure adequate privacy for existing and future residents.
- 6.133 Rear windows are proposed at first floor level in the set-back part of the rear elevation of Block C, which are approximately 2.7m set back from the rear boundary line. These would serve first floor bedrooms for the proposed upper floor duplex flats. The separation distance between existing rear windows in Trinity Road, which are generally over 15m at least, would be sufficient to ensure that there are no material levels of overlooking into these neighbours' windows.
- 6.134 Concerns have been raised by residents regarding the potential for overlooking of their gardens from these first floor windows, as well as from second floor rear windows and roof terraces. However, it is important to note that these gardens, as with most gardens in urban settings, are already overlooked by existing neighbours.
- 6.135 The proposed set back of 2.7m of the first floor level rear windows of Block C would from the rear boundary is considered to be suitable mitigation. Furthermore, the proposed windows would be set relatively high above floor level with approximately 1.5m cill height to help establish privacy for the future residents, which would also help mitigate views out. The floor plans show that the siting of the windows would be within the main entrance route to these bedrooms, so would be unlikely to be utilised for furniture, thus making these more transitional spaces and minimising likelihood of rooms arranged to look directly onto existing rear gardens. As such it is considered that although there would be some additional overlooking of gardens these are already overlooked spaces, and the additional impact would not have a significant impact on amenity enjoyed by those neighbours, especially when considered in the existing context of overlooked gardens.
- 6.136 The proposed second floor level habitable windows would also be set back 2.7m from the rear boundary. These windows would provide a tertiary aspect to the main living areas of the duplex apartments and are unlikely to create significant overlooking, providing more of an aspect for light and ventilation. However, the

applicant has agreed to install obscure glazing into these windows given that concerns have been raised and that these living areas would already have preferable aspects with clear glazing. A condition is recommended to secure such mitigation.

- 6.137 The roof terraces have been amended to introduce higher screening along the southern boundary, onto Trinity Road. These would also have planting beds adjacent to the screens to further mitigate any impact of the terraces. The end terrace screening has been amended to have higher screening to the rear and side, to avoid any overlooking of the rear gardens of nos. 10 and 11 Trinity Road, which extend northwards of the site.



*Image 17 – CGI proposed view of Block C from rear garden of no.10 Trinity Road*

- 6.138 The opposite, northern side, of Neville Place is occupied by commercial units at ground and first floors. The distance between the front elevation of that commercial parade and the proposed mews buildings would be approximately 9 metres across the vehicle access route. The commercial nature of these neighbours is less sensitive than residential neighbours, and these are not considered as habitable rooms. During the pre-application process, the applicant proposed angled and screened windows in this elevation which would face on to public realm, but these were discouraged by QRP who suggested that internal blinds / curtains could be installed by future residents if they so choose. In the circumstances it is considered that no formal design mitigation is necessary, and residents may decide to install curtains/blinds if they so wish.
- 6.139 The rear balconies in Blocks A and B have been sited away from the boundary with Trinity Road and designed to avoid any material levels of overlooking of any

existing neighbours. Upper floor windows in the southern corner of Block A have been amended to minimise the potential for overlooking of any windows in the Dogan Terrace part of Trinity Road. Likewise, windows in the northern elevation of Block B have been revised to ensure that there would be no significant overlooking of the immediate neighbours in Morant Place.

- 6.140 Overall, it is accepted that there would be some potential for overlooking, but the impact is not considered to be material, especially not for an urban setting. Amendments have also meant that the worst potential instances for overlooking have been attenuated to reduce risk or perception of risk of loss of privacy.

#### *Noise and disturbance*

- 6.141 Public consultation has highlighted concerns from neighbours, particularly in the Dogan Terrace part of Trinity Road, regarding noise from the development onto these gardens. The comments have highlighted that although there is an existing employment use on the site, the noise associated with it is not significant and is focussed in the day time rather than evenings and weekends. However, it should be noted that any future commercial use could be significantly noisier, albeit activity would generally still be within the daytime and during the week.
- 6.142 The most noise creation would likely be from the use of the child play space and amenity space behind Block A. As mentioned above, the applicant is willing to review the height of the boundary treatment if the proposed 2.2m height is perceived as being too low and the design would be determined through the imposition of condition details. Any potential increase in height would be required to be no higher than the existing boundary height. However, it is considered that even at the 2.2m height, amenity and security could be preserved through landscaping and design solutions.
- 6.143 The main play equipment would be located away from the most sensitive southern boundary with Dogan Terrace, thus partially mitigating the impact. The play area itself is not likely to be heavily used nor used extensively in evenings; the equipment is aimed towards younger children. Although there may be some use at weekends, this amenity space is not likely to be significantly noisy to materially impact amenity of adjacent neighbours. Overall, the 'active' amenity space is located within the proposed development and is likely to mainly serve the residents of the proposal. Officers conclude that the impact of noise on existing residents is not considered to be significant following completed development.

#### **Transportation and Parking**

- 6.144 Paragraph 115 of the NPPF makes clear that in assessing applications, decision makers should ensure that appropriate opportunities to promote sustainable transport modes have been taken up and that the design of streets and other

transport elements reflects national guidance (including the National Design Guide).

- 6.145 Policy T1 of the London Plan 2021 sets a strategic target of 80% of all trips in London to be by foot, cycle, or public transport by 2041 and requires all development to make the most effective use of land. Policy T5 of the London Plan 2021 encourages cycling and sets out cycle parking standards and Policies T6 and T6.1 to T6.5 of the London Plan 2021 set out car parking standards.
- 6.146 Other key relevant London Plan policies include Policy T2 – which sets out a ‘healthy streets’ approach to new development and requires proposals to demonstrate how it will deliver improvements that support the 10 Healthy Street Indicators and Policy T7 – which makes clear that development should facilitate safe, clean and efficient deliveries and servicing and requires Construction Logistics Plans and Delivery and Servicing Plans.
- 6.147 Policy SP7 of the Local Plan 2017 states that the Council aims to tackle climate change, improve local place shaping and public realm, and environmental and transport quality and safety by promoting public transport, walking, and cycling and seeking to locate major trip generating developments in locations with good access to public transport. This approach is continued in Policies DM31 and DM32 of the DM DPD 2017.
- 6.148 Policy DM32 of the DM DPD 2017 states that the Council will support proposals for new development with limited or no on-site parking where there are alternative and accessible means of transport available, public transport accessibility is at least 4 as defined in the Public Transport Accessibility Index, a Controlled Parking Zone (CPZ) exists or will be provided prior to the occupation of the development, parking is provided for disabled people, and parking is designated for occupiers of developments specified as ‘car capped’.

#### *Location and access*

- 6.149 The site has a Public Transport Accessibility Level (PTAL) of 6a, which is considered to be an ‘Excellent’ level of public transport coverage. It is located to the western side of the Wood Green High Road, in between the junctions with Trinity Road and Neville Place. The existing vehicle access is via Neville Place.
- 6.150 The site is at the southern boundary of the Bounds Green East CPZ (Monday to Friday, 11.00 to 13.00) and close to the northern boundary of the Wood Green Outer CPZ (Monday to Saturday, 0800 to 1830). Neville Place includes parking bays used for ‘pay and display’ between the hours of 8am to 6:30pm through Monday to Saturday. A private car parking area for the business is on the northern side of Neville Place, in the area of the site that would house Block B.

#### *Trip Generation*

- 6.151 The Transport Assessment submitted in support of this application includes an assessment of trip generation for the residential redevelopment. This predicts a total of 135 inbound and 137 outbound person trips a day.
- 6.152 A comparison has been made with a similar trip generation exercise for the existing land use, and this details that in the peaks combined, there will be 21 more inbound trips and 19 more outbound trips. This represents a slight increase in trip generation numbers, however there would be far fewer vehicle trips on the network overall given the car free nature of this residential development compared against the vehicle trips generated by the timber yard.
- 6.153 This assessment has been reviewed by LBH Transportation Officers who confirm that the person trips generated in the AM and PM peaks have an acceptable impact in highway and public transport capacity terms.

*Car parking*

- 6.154 This application is proposed as 'car free' and 'permit free', with one off street blue badge bay included from the outset with potential for two additional bays to be provided if required in the future, by converting a landscaped strip adjacent to the proposed bay.
- 6.155 The car free proposal is welcomed given the site's location and excellent PTAL value of 6A, which would comply with Policy DM32 of the DM DPD 2017. The applicant will need to enter into the appropriate Planning Agreement to do so and meet the Council's costs of £4,000 to amend the traffic order. The arrangement for future provision of the two potential car parking bays in the future will require detailed plans and confirmation that this will be paid for by the applicant, which will also be included in the S106.
- 6.156 A Car Parking Stress Survey has been submitted in support of the application. The overnight survey (on two nights) included within that report recorded a highest parking stress within the 200m walk distance of 51%, with 129 spaces occupied of the 253 within the survey area. For the second night the stresses were slightly lower at 49%. This is generally the busiest and indicates considerable spare capacity in the survey area, suggesting there is significant space availability.
- 6.157 A daytime survey (11.00 to 13.00, which is within CPZ operational hours) was also carried out for existing parking demands within Neville Place. This recorded a maximum occupancy at 7 cars, and averaged out at 6 cars, a stress of 55% for the 11 spaces within Neville Place during CPZ operational hours.
- 6.158 In both scenarios there was significant spare parking capacity available. Even given the limitations of the CPZ within the area the modest increase in parking

that may occur could be easily absorbed within the existing capacity and there not be significant impacts resulting from additional on street demand.

- 6.159 The applicant proposes provision of the single blue badge bay at first, with the ability to provide two more if demands arise and occupiers' request it. The proposed development would be thus complying with the 10% requirement for accessible parking provision. The accessible bay proposed from the outset would require provision of an Electric Vehicle charging (EV) point, and the potential further bays would require infrastructure to be installed with potential provision as and when required.

#### *Access arrangements*

- 6.160 Blocks A and B fronting the High Road would be accessed from the High Road, and the houses/mews component directly from Neville Place. Refuse collection and delivery/service access is intended to be from Neville Place, as would vehicular access to the blue badge car parking for the accessible home(s).
- 6.161 An existing 'pay and display' parking bay within Neville Place would be removed to facilitate the provision of the proposed and potential future accessible car parking bay(s). The access and usability of that bay(s) have been subject to a Stage 1 Safety Audit, which concluded that intervisibility between vehicles and pedestrians would be acceptable and provide safe parking arrangements.
- 6.162 A S278 agreement would be required to arrive at the future highway arrangements for this development, which includes the amendments to Neville Place (removal of a single CPZ bay, long dropped kerb and double yellow lines for the blue bay access, the turning head behind Block B, and associated streetscape changes/improvements for the hardstanding highway area to the front of Block A).

#### *Cycle parking*

- 6.163 The applicant proposes a total of 72 cycle parking spaces throughout the development. These would be predominantly located within ground floor internal stores accessed off of Neville Place for Blocks A and B, utilising a mix of two tier and Sheffield stands. These stores would provide 26 and 31 spaces respectively, as well as provision for suitable larger parking spaces. Internal cycle storage of either 1 or 2 cycles are proposed for Block C homes, and these are considered to provide easily acceptable and convenient storage for future residents.
- 6.164 Two visitor cycle parking spaces are proposed to be located internally within the main stores, but these should generally be provided externally for ease of access for non-residents. It is considered that these can be provided within the site, and a condition would require that they be external, as part of the wider cycle parking requirement. The condition would require that all cycle parking adhere with both

the manufacturer's installation specifications and the London Cycle Design Standards as produced by TfL.



Image 18 – Cycle store locations

### *Delivery and servicing arrangement*

6.165 The majority of delivery and servicing activity would take place on Neville Place making use of the double yellow lines. The turning head behind Block B would enable forward gear access into and out of Neville Place. The area of highway that is the hard standing to the front of Block A is also intended for refuse vehicles to dwell for collections from Blocks A and B.

6.166 On Neville Place there are two CPZ bays at the location of the yellow lines that would be in place to the immediate east of the proposed blue badge parking bay(s), so dwelling at that location may obstruct the highway. There are also double yellow lines on the High Road adjacent to the development component fronting the High Road, and the hardstanding area of highway to the frontage of Block A. More detail is required on the proposed location for deliveries to the proposed dwellings but all is considered to be reasonably accommodated, and these details could be finalised in a Delivery and Servicing Plan secured through condition.

### *Travel Plan*

6.167 A detailed draft of a travel plan has been provided in support of this application, which is considered acceptable at this stage. Further mode share targets have

been included, which are for 5 percent increases in mode share for walking and cycling by year 5 survey, to be reviewed in the initial occupancy survey. The applicant would be required to pay a monitoring fee for officers to review and engage with the Travel Plan co-ordinator over the life of the Travel Plan which would be £3,000 per year the travel plan is active (assumed 5 years), which would be secured through S106 obligation.

*Car club*

- 6.168 The car-free nature of this development means that the developer would be required to provide a car club facility for this development. This would be secured through S106 obligation, which would require 'best endeavours' to obtain written recommendations from an appropriate car club provider for this development and to implement them accordingly, with potential for a specified bay within the vicinity of the site. The obligation would also include memberships for three years plus a driving credit for each new home.

*Demolition and Construction phases*

- 6.169 A draft Construction Logistics Plan has been included within the application, which provides a reassuring template for the full pre commencement draft of a DCLP (Demolition and Construction Logistics Plan) that will be required.
- 6.170 The draft includes useful information such as the 90 weeks works duration, estimates of vehicle arrivals and departures (between 9 and 23 per day), confirmation that no plant or materials would be stored on the public highway and the use of traffic marshalls to oversee all vehicle activity. There is also commentary on the proposed temporary loading bay arrangements on the public highway with two bays proposed, one in the hardstanding to Block A, the other on Neville Place that would necessitate suspending two CPZ bays.
- 6.171 The final document would be required to expand on the draft and include full details of the agreed temporary suspension and loading bay regime, as agreed with Haringey's Network Management officers, and confirm that all arrivals and departures would be contained to between 0930 and 1500. Details of the numbers of banksmen and their oversight regime would also be required to demonstrate how there would be full supervision of both construction vehicles and highway users as manoeuvres and access/egress is made.
- 6.172 The DCLP would be secured through condition, with the monitoring fee secured through a S106 obligation

*Transportation contribution*

- 6.173 The Council is currently progressing designs for a junction improvement scheme at the junction of White Hart Lane and Trinity Road, to the immediate south of



this site. This scheme will include measures to improve facility and safety for pedestrians and cyclists and improve connectivity to cross the High Road and allow for easier journeys east/west to and from the development. The junction will be signalised to manage vehicle movements through the junction, and formal pedestrian crossings along with advanced stop lines for cyclists and improved footway and tactile crossings will be implemented.

- 6.174 This will be of direct benefit to this scheme and the future occupiers. Accordingly, the applicant has agreed to a financial contribution of £80,000 towards the design and implementation costs.

#### *Summary of Transportation*

- 6.175 The site is well located for local shops and services and has excellent public transport accessibility. Cycle parking is acceptable as are delivery and servicing arrangements and the draft CLP. All of these matters would be secured through condition.
- 6.176 An amendment to the TMO would be required to secure this scheme as car free, at the cost of £4,000 to the applicant. Travel plan, CLP monitoring, car club provision and highway improvements would be required through S106 obligations.

#### **Energy, Climate Change and Sustainability**

- 6.177 Policy SI2 of the London Plan 2021 sets out the Mayor of London's energy hierarchy: Use Less Energy (Be Lean); Supply Energy Efficiently (Be Clean); Use Renewable Energy (Be Green) and (Be Seen). It also sets a target for all development to achieve net zero carbon, by reducing CO2 emissions by a minimum of 35% on site, of which at least 10% should be achieved through energy efficiency measures for residential development (or 15% for commercial development) and calls on boroughs to establish an offset fund (with justifying text referring to a £95/tonne cost of carbon).
- 6.178 Policy SI4 of the London Plan 2021 calls for development to minimise overheating through careful design, layout, orientation, materials and incorporation of green infrastructure, designs must reduce overheating in line with the Cooling Hierarchy.
- 6.179 Policy SP4 of the Local Plan 2017 requires all new development to be zero carbon (i.e. a 100% improvement beyond Part L of the 2021 Building Regulations) and a minimum reduction of 20% from on-site renewable energy generation. Policy DM21 of the DM DPD 2017 requires developments to demonstrate sustainable design, layout, and construction techniques.

#### *Energy*

- 6.180 The overall predicted reduction in CO<sub>2</sub> emissions for the development shows an improvement of approximately 77% in carbon emissions with SAP10.2 carbon factors, from the baseline development model (which is Part L 2021 compliant). This represents an annual saving of approximately 26.7 tonnes of CO<sub>2</sub> from a baseline of 34.5 tCO<sub>2</sub>/year.
- 6.181 The principal target is to achieve a reduction in regulated CO<sub>2</sub> emissions over Part L 2021 Building Regulations. The London Plan requires the 'lean', 'clean', 'green' and 'seen' stages of the Mayor of London's Energy Hierarchy to be followed to achieve a 'Zero Carbon' Standard targeting a minimum onsite reduction of 35%, with 10% domestic and 15% non-domestic carbon reductions to be met by energy efficiency. All surplus regulated CO<sub>2</sub> emissions must be offset at a rate of £95 for every ton of CO<sub>2</sub> emitted per year over a minimum period of 30 years.
- 6.182 'Be Lean' refers to ways that new developments can minimise energy consumption. The applicant has proposed a saving of 10 tCO<sub>2</sub> in carbon emissions (29%) through improved energy efficiency standards in key elements of the build. This goes beyond the minimum 10% and 15% reduction respectively set in London Plan Policy SI2, so this is supported.
- 6.183 'Be Clean' refers to how developments can use clean energy sources in their built form. The site is not within a reasonable distance of a proposed Decentralised Energy Network (DEN), so cannot provide 'clean' solutions in this regard.
- 6.184 'Be Green' refers to the green energy sources that can be incorporated into new development. All new developments must achieve a minimum reduction of 20% from on-site renewable energy generation to comply with Policy SP4. The proposed design includes communal air source heat pumps for Blocks A and B, and individual air source heat pumps for Block C. The proposal would provide a 49% saving in this regard, which goes beyond the minimum reductions. This is considered to an appropriate proposal.
- 6.185 'Be Seen' refers to how the improvements can be monitored and displayed to verify performance. In this regard it is proposed that all major plants be fitted with meters to allow remote monitoring of energy used by the heating systems and distribution boards. A commitment to monitor the readings so that they can be compared with the predicted energy performance and reported is proposed and agreed.
- 6.186 The development would achieve cumulative carbon savings of 77% against Part L of the Building Regulations 2021 through on-site renewable energy generation, including communal and individual air source heat pump (ASHP) and solar photovoltaic (PV) panels installed on all roofs.

6.187 Despite the adoption of the 'Lean' and 'Green' measures outlined above, the expected carbon dioxide savings fall short of the zero-carbon policy target for proposed domestic uses. A carbon shortfall of 7.8 tCO<sub>2</sub>/year remains. The remaining carbon emissions will need to be offset at £95/tCO<sub>2</sub> over 30 years.

6.188 On the basis of the information submitted the estimated carbon offset contribution (and associated obligations) is £22,230 (indicative), plus a 10% management fee; carbon offset contribution to be re-calculated at £2,850 per tCO<sub>2</sub> at the Energy Plan and Sustainability stages. These figures would be captured through a S106 obligation.

6.189 Overall – 'Lean', 'Clean' and 'Green'. Table 12 below sets out the overall carbon emission savings:

| Residential   | Residential   |   |                        | Non-residential   |   |                        |
|---|---|---|------------------------|---|---|------------------------|
|   | Total regulated emissions (Tonnes CO <sub>2</sub> / year) | CO <sub>2</sub> savings (Tonnes CO <sub>2</sub> / year) | Percentage savings (%) | Total regulated emissions (Tonnes CO <sub>2</sub> / year) | CO <sub>2</sub> savings (Tonnes CO <sub>2</sub> / year) | Percentage savings (%) |
| <b>Baseline</b>                                     | 32.1  |   |                        | 2.4   |   |                        |
| <b>Be Lean</b>                                      | 22.4  | 9.7   | 30%                    | 2.1   | 0.4   | 15%                    |
| <b>Be Clean</b>                                     | 22.4  | 0.0   | 0%                     | 2.1   | 0.0   | 0%                     |
| <b>Be Green</b>                                     | 6.8   | 15.6  | 49%                    | 1.0   | 1.0   | 42%                    |
| <b>Cumulative savings</b>                           |   | 25.3  | 79%                    |   | 1.4   | 57%                    |
| <b>Carbon shortfall to offset (tCO<sub>2</sub>)</b> | 6.8   |   |                        | 1.0   |   |                        |

### *Overheating*

6.190 In accordance with the Energy Assessment Guidance, the applicant has undertaken a dynamic thermal modelling assessment in line with CIBSE TM59 with TM49 weather files. The report has modelled 39 habitable rooms, 21 Living/Kitchen/Dining rooms under the London Heathrow Weather files.

6.191 The Air & Noise Assessment documents determined that all windows in the proposed development should assume windows remain closed to adhere to internal noise criteria. Therefore, for TM59 compliance mechanical ventilation criteria is applicable. However, natural ventilation criteria should also be reported to demonstrate that the passive measures have been maximised in line with the Cooling Hierarchy, and the façade design has been optimised regardless of the constraints posed by the site's location.

- 6.192 All spaces pass the overheating requirements for 2020s DSY1, using MVHR with air tempering. The measures proposed rely on mechanical ventilation with air tempering to achieve compliance. Passive measures have been incorporated where feasible, including external shading via balconies, low g-value glazing, and energy-efficient façades. Natural ventilation results are reported to evidence optimisation of the façade design in line with the Cooling Hierarchy.
- 6.193 The report includes sample dwelling layouts, communal corridor assessment, a retrofit plan for future/extreme weather, and a heatwave user guide. Future scenarios show strong resilience (98.9% pass for 2050 and 89.3% for 2080), with clear mitigation strategies outlined.
- 6.194 The proposed glazing ratio is more than 50%, which is more than double the LETI recommended levels of 10-25%. However, this must be balanced against the overall façade composition and the overall liveability of the proposed homes in terms of providing suitable daylight and sunlight and desirable outlook. The majority of the flats would be dual or triple aspect and there are no south facing single aspect homes. The facades contain large openings for private amenity spaces and are considered to provide a suitable balance between overheating and other living conditions. QRP comments had suggested bold window designs and increased glazing; their comments have been addressed through a more conservative approach to glazing but larger panels around windows.
- 6.195 It is considered that the passive measures proposed have reduced the likelihood of the initial overheating concerns, but a condition is recommended for additional passive design measures to be considered and implemented prior to occupation.
- 6.196 Overall, the scheme would provide acceptable and suitable internal living conditions and wider façade composition design.

### *Sustainability*

- 6.197 Policy DM21 of the DM DPD 2017 requires developments to demonstrate sustainable design, layout and construction techniques.
- 6.198 The submitted Sustainability Statement sets out a comprehensive approach to sustainable development, addressing a wide range of environmental and climate-related considerations. The proposal incorporates measures to improve sustainability across key areas including transport, health and wellbeing, materials and waste, water consumption, flood risk and drainage, biodiversity, climate resilience, energy and CO<sub>2</sub> emissions, and landscape design.
- 6.199 Specific commitments include water efficiency measures, sustainable material sourcing, and circular design principles to reduce whole-life carbon. The

development also commits to responsible construction practices through registration with the Considerate Constructors Scheme and implementation of an Environmental Management System.

#### *Living roofs*

- 6.200 All development sites must incorporate urban greening within their fundamental design, in line with Policy G5 of the London Plan 2021.
- 6.201 The development is proposing living roofs throughout the development. All landscaping proposals and living roofs would stimulate a variety of planting species. Mat-based, sedum systems are discouraged as they retain less rainfall and deliver limited biodiversity advantages. The growing medium for extensive roofs must be 120-150mm deep, and at least 250mm deep for intensive roofs (these are often roof-level amenity spaces) to ensure most plant species can establish and thrive and can withstand periods of drought. Details for living roofs would need to be submitted by planning condition.

#### **Trees**

- 6.202 Paragraph 136 of the NPPF sets out the importance of trees and makes clear that planning decisions should ensure that new streets are tree-lined. London Plan Policy G7 makes clear that development should seek to retain and protect trees of value and replace these where lost.
- 6.203 In support of the application, an Arboricultural Impact and Method Statement has been submitted by Sharon Hosegood Associates. There are no TPOs or Category A trees on the site. Of the 19 existing trees on and adjacent to the site, 10 will be retained, including 4 on site and 6 off site. A total of 8 on-site trees and one off-site tree would be removed as they are of low quality or are directly required for the site layout. Fourteen trees would be planted on-site and a potential further 3 off-site, so subject to Highways approval 17 trees would be planted, giving a potential net increase of 8 trees.
- 6.204 The trees to be removed include four Norway Maples, two Silver Birches, two Hornbeams and a Rowan tree. The trees to be retained would be protected during demolition and construction and pruned back as required. The 17 new trees will be a selection species, including Silver Birches, Maples and fruit trees. The proposed removal and replacements have been reviewed by the Council's Tree Officers and are considered to provide suitable attenuation, and these would be secured through the imposition of a condition.
- 6.205 Public comments have raised concerns about the loss of some of the existing established vegetation, particularly along the rear boundary of Trinity Road. The applicant has responded that they will seek to retain and work with neighbours on retention of any party wall / vegetation to be agreed through party wall

agreements. This is welcomed, but Officers consider that the low level vegetation would not be of a significance to warrant protection but are satisfied that best endeavours are made through condition and that this be resolved between the parties and any Party Wall Agreement.

- 6.206 Overall, the retention of existing trees where possible and net increase in quantum is supported and considered acceptable.

### **Urban Greening Factor and Biodiversity**

- 6.207 Policy G5 of the London Plan 2021 sets out the concept and defines Urban Greening Factor (UGF) as a tool used to evaluate and quantify the quality of urban greening provided by a development and aims to accelerate greening of the built environment, ensuring a greener London as it grows. It requires boroughs to develop their own UGF targets, tailored to local circumstances, but recommends an interim target score of 0.40 for proposed residential development.
- 6.208 Policy G6 of the London Plan 2021 seeks to manage impacts on biodiversity and aims to secure biodiversity net gain. Policy SP11 of the Local Plan 2017 promotes high quality landscaping on and off-site. Policy DM1 of the DM DPD 2017 requires proposals to demonstrate how landscape and planting are integrated into the development and expects development proposals to respond to trees on or close to a site. Policy DM21 of the DM DPD 2017 expects proposals to maximise opportunities to enhance biodiversity on-site.

### *Urban Greening/landscaping*

- 6.209 The scheme has attempted to maximise greening of the site within its constraints, including a tree planting scheme, primarily around the proposed amenity spaces, alongside hedge and flower-rich perennial planting. Extensive green roofs are proposed on the roofs of all of the proposed buildings, and a vegetated SuDS proposal is also incorporated into the design. Sealed surfaces using permeable paving and lawn where suitable have also been incorporated into the design. Additional bug and insect hotels and bird and bat boxes are also proposed.
- 6.210 Two scenarios for Urban Greening Factor score are outlined taking into account the potential addition of another two parking bays in front of the landscaped entrance to the amenity space behind Block A. The initially proposed scenario with 1 parking bay and landscaping would have a UGF score of approximately 0.47 and the scenario with 3 parking bays would score slightly lower at approximately 0.46. In either scenario the UGF is significantly over the interim target score of 0.40 for proposed residential development and is seen as a desirable improvement to urban greening in this location.

- 6.211 Detailed landscaping and boundary conditions are recommended in order to secure high quality landscaping scheme, for the site and for the benefit of the surrounding built environment generally. Subject to compliance with such conditions, the development would be acceptable with regards to urban greening and landscaping considerations.

*Biodiversity*

- 6.212 Biodiversity Net Gain (BNG) is an approach to development which makes sure that habitats for wildlife are left in a measurably better state than they were before the development. The Environment Act 2021 introduced a statutory requirement for most developments to deliver a BNG of 10%. This means a development would result in more or better-quality natural habitat than there was before development.
- 6.213 If however, the 10% BNG cannot be achieved within the site, the legislation allows the option to deliver a mixture of on-site and off-site biodiversity gain, through purchase of off-site biodiversity units on the market or directly from the Government.
- 6.214 The development would provide biodiversity value within the site including through the inclusion of gardens and a mixed species of proposed trees tree planting. The proposal also includes extensive areas of green roof with deeper substrate on the larger buildings and extensive flowering plants, which would provide significant biodiversity improvements.
- 6.215 When using the statutory biodiversity metric calculation tool, the development would result in a 189% BNG value gain when measured against the pre-development baseline value. As such, this would be well in excess of the 10% BNG requirement on site.
- 6.216 Subject to compliance with the recommended imposed conditions and obligations secured through a S.106 legal agreement, the development would be acceptable with regards urban greening/landscaping and biodiversity considerations.

**Waste and Recycling**

- 6.217 Policy SI7 of the London Plan 2021 requires proposed new development to have adequate, flexible, and easily accessible space and collection systems that support the separate collection of dry recyclables and food. Policy SP6 of the Local Plan 2017 and Policy DM4 of the DM DPD 2017 require development proposals to make adequate provision for waste and recycling storage and collection.

- 6.218 The Haringey Waste Management Guidance Notice for Residential and Mixed-Use Developments provides guidance for waste storage and collection on new developments. The guidance sets out for communal collection arrangements, 1 x 1,100 litre (L) bins are required for refuse per 6 dwellings, 1 x 1,100L bins for recycling per 10 dwellings, and 20 L of food waste per dwelling.
- 6.219 The scheme would provide 10 x 1,100L bins and 6 x 140L bins in accordance with the Haringey Waste Management Guidance Note for Residential and Mixed-use Developments SPD.
- 6.220 Vehicles would access the hardstanding area adjacent to Block B whereby they can collect the waste from Blocks A and B. The vehicle would then reverse part-way down Neville Place under banksmen control to collect the waste associated with Block C, then exit in a forward gear back onto High Road. Bin dragging distances would be less than 10m. Vehicle swept path analysis is contained at Appendix 6 of the Transport Statement.
- 6.221 Waste collection would take place from the area of hardstanding at the eastern boundary of the site, with vehicles then able to reverse back along Neville Place to ensure that bin dragging distances are less than 10m for the three stores.
- 6.222 Operational waste management would be monitored by a member of the Site Management Team ('SMT') in coordination with the waste services provider. Waste would be managed in accordance with the waste hierarchy. Vehicles would then turn down Neville Place and utilise the double yellow lines.
- 6.223 Final details of the waste strategy would be required to be refined through condition, but the details outlined above are considered to be satisfactory.

### **Flood Risk, Drainage and Water infrastructure**

- 6.224 Development proposals must comply with the NPPF and its associated technical guidance around flood risk management. London Plan Policy SI12 requires development proposals to ensure that flood risk is minimised and mitigated, and that residual risk is addressed.
- 6.225 Policy SI13 of the London Plan 2021 and Policy SP5 of the Local Plan 2017 require new development to utilise Sustainable Urban Drainage Systems (SUDS).
- 6.226 Policies DM24, 25, and 29 of the DM DPD 2017 continue the NPPF and London Plan approach to flood risk management and SUDS to ensure that all proposals



do not increase the risk of flooding. Policy DM27 of the DM DPD 2017 seeks to protect and improve the quality of groundwater.

- 6.227 Policy SI5 of the London Plan 2021 requires proposals to ensure adequate wastewater infrastructure capacity is available.
- 6.228 The site is located within flood risk zone 1, which has the lowest risk. The Government's website assesses the property as very low yearly risk for surface water and flooding from sea/river. In support of the application, a Drainage and SUDS Strategy by Vertex Engineering Limited has been submitted. The overall methodology used and referenced has been reviewed and is considered to be acceptable subject to the surface water drainage strategy and its management and maintenance plan being conditioned.
- 6.229 The proposed development site is situated in an area where Thames Water provide the wastewater infrastructure. Thames Water show an existing foul sewer main running east to the site on the High Street. Thames Water have referenced this in their response and note that the development is within 3 metres of a public sewer (of which, the internal diameter is less than or equal to 150mm). A survey of the site and any shared pipework is recommended. Further details of piling are recommended. Thames Water have assessed the existing network and have confirmed they have sufficient sewerage capacity in the adjacent foul water sewer network to serve the proposed development.

### **Air Quality**

- 6.230 Policy SI1 of the London Plan 2021 sets out that major development proposals should be submitted alongside an air quality assessment.
- 6.231 An Air Quality Assessment was undertaken by BWB Consulting Ltd, and reviewed by Officers, as the site is located within the Haringey Air Quality Management Area, which was declared for potential exceedances of the annual mean nitrogen dioxide and the 24-hour mean particulate matter (PM10) air quality objectives.
- 6.232 An Air Quality Neutral Assessment was undertaken to compare building and transport emissions from the proposed development with Greater London Authority benchmarks. The proposed energy and heating strategy proposes all-electric heating and energy, and additional vehicle trips generated by the proposed development would be below the benchmarked thresholds. The proposed development is considered to be air quality neutral in terms of both building and transport emissions.

### **Land contamination**

- 6.233 Policy DM23 of the DM DPD 2017 requires development proposals on potentially contaminated land to follow a risk management-based protocol to ensure contamination is properly addressed and carry out investigations to remove or mitigate any risks to local receptors.
- 6.234 The application and its associated documentation have been reviewed by LBH Pollution officers, who raise no objection, subject to the imposition of conditions regarding Land Contamination and Unexpected Contamination.

### **Fire Safety and Security**

- 6.235 Policy D12 of the London Plan 2021 requires all major development proposals to be submitted with a Fire Statement which has been prepared by a suitably qualified third-party assessor, demonstrating how the development proposals would achieve the highest standards of fire safety, including details of construction methods and materials, means of escape, fire safety features and means of access for fire service personnel.
- 6.236 Policy D5 of the London Plan 2021 also seeks to ensure that developments incorporate safe and dignified emergency evacuation for all building users.
- 6.237 A Fire Safety Statement has been submitted alongside the application which sets out how fire safety has been considered and incorporated into the design of the development from the earliest stage. The maximum height of the proposed buildings is 12.6m and five storeys so does not require consultation with the HSE/BSR.
- 6.238 The fire safety of the development would be checked at building regulations stage, but details of smoke detectors, smoke shafts, signage and evacuation procedures have been outlined. The layout of the proposed Blocks A and B would each have access to an evacuation lift in accordance with Policy D5 of the London Plan 2021.
- 6.239 Vehicle access for fire appliance is available around the site via High Road and Neville Place. The applicant has noted that existing water supply provisions for firefighting would continue to serve the site, and the presence of a fire hydrant is in the immediate vicinity. The proposal is therefore considered acceptable with regards to planning considerations but would need to ensure these measures, and additional, details are part of any subsequent Block Control submissions.

### **Equalities**

- 6.240 In determining this application, the Council is required to have regard to its obligations under Section 149 of the Equality Act 2010. Under the Act, a public authority must, in the exercise of its functions, have due regard to the need to:

- eliminate discrimination, harassment and victimisation and any other conduct that is prohibited by or under this Act
- advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it
- foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

6.241 The three parts of the duty apply to the following protected characteristics: age, disability, gender reassignment, pregnancy/maternity, race, religion/faith, sex and sexual orientation. Marriage and civil partnership status applies to the first part of the duty. Members must have regard to these duties in taking a decision on this application. In addition, the Council treats socioeconomic status as a local protected characteristic, although this is not enforced in legislation. Due regard must be had to these duties in the taking of a decision on this application.

6.242 The overall equalities impact of the proposal would be positive as any limited potential negative impact on people with protected characteristics would be both adequately mitigated by conditions and would be significantly offset by the wider benefits of the development proposal overall. It is therefore considered that the development can be supported from an equalities standpoint.

### **Conclusion**

- The loss of non-designated employment land is considered acceptable as part of a proposed development that would provide significant additional residential housing in a predominantly residential area. A financial contribution of £22,000 will be required for the loss of the existing 8 FTE employees.
- The principle of a residential scheme is supported in this accessible location, which will contribute to the Borough's housing stock; and is considered to represent sustainable development.
- The application proposes a high quality design that would positively repair the urban fabric compared to the existing property's presence on the High Road.
- The scheme has been positively reviewed by the Quality Review Panel and refined in broad accordance with those comments.
- The proposal is not considered harmful to the character or appearance of the Trinity Gardens Conservation Area or nearby heritage assets and would additionally raise the architectural and townscape quality of this site within the conservation area. The scheme will deliver public benefits, including the provision of additional homes and improvements to townscape quality.
- A viability assessment has been independently reviewed and confirms that the development is unable to provide any affordable housing. This could be reviewed by way of an early and late stage review to assess whether any such housing, or a contribution towards affordable housing off-site, could be achieved in the future. However, the applicant has made a commercial offer to make a Payment in Lieu to the council to provide affordable housing in the sum of at least £250,000 to compensate for the removal of both Early and Late Stage Reviews. This is accepted

as it gives more certainty to the Council and applicant and the contribution would be used to provide affordable homes within Haringey.

- The siting, massing and separation distances are considered satisfactory in protecting neighbouring amenity, particularly those in Morant Place and along Trinity Road. Siting of windows, balconies and amenity spaces have been carefully considered to avoid overlooking of these neighbours.
- The proposed residential mix comprises 21 x 1 bed, 5 x 2 bed and 10 x 3 bedroom homes is considered to be a suitable mix for this location.
- The proposed homes will have a high quality of living accommodation, be predominantly dual or triple aspect, include private and communal amenity spaces and play space and suitable provision of accessible homes.
- A suitable pedestrian footway and environment would be created for residents, which would serve the proposal as well as benefit existing commercial uses within Neville Place.
- The development is proposed to be 'car-free', with one accessible car parking space provided from the outset and future provision for two additional bays secured through the S106 to be provided if needed in the future. Ground floor cycle stores will be provided.
- The development would achieve a 77% reduction in regulated carbon dioxide emissions on site, through a combination of high fabric efficiencies, communal and individual air source heat pumps (ASHPs), and an array of solar photovoltaic (PV) panels.
- Biodiversity Net Gain requirements achieve 189% BNG value gain when measured against the pre-development baseline value improvement, this significantly exceeds the 10% increase. The GLA Urban Greening Factor score of 0.46 will also exceed the target of achieving 0.40. These will be met through planting, green roofs, and landscaping. There will also be a net gain of 8 trees, as well as tree retention.
- The scheme will be Air Quality Neutral, with no significant impact expected.
- Overall, this is considered to be a high quality development that will provide housing for Haringey and is supported by Officers and relevant policy.
- The scheme would provide a number of section 106 obligations, along with paying Haringey and Mayoral CIL contributions.

## **7. Community Infrastructure Levy**

- 7.1. Based on the information given on the plans, the Mayoral CIL charge will be £221,800.80 (3,120sqm x £71.09) and the Haringey CIL charge will be £842,212.80 (3120sqm x £269.94). These rates are based on the Annual CIL Rate Summary for 2025. This will be collected by Haringey after/should the scheme is/be implemented and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the RICS CIL Index. An informative will be attached advising the applicant of this charge

## **8. RECOMMENDATIONS**

GRANT planning permission for the reasons set out in Section 2 above, subject to conditions and a s106 legal agreement.

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## Appendix 1: Planning Conditions & Informatives

### Conditions:

- 1) Time Limit (Compliance)
- 2) Approved Plans and Documents (Compliance)
- 3) Materials and Detailing (Prior to commencement)
- 4) Boundary treatment and access control (Pre-occupation)
- 5) Landscaping (Prior to commencement of relevant part)
- 6) Play equipment
- 7) Biodiversity Net Gain Plan (Pre-commencement)
- 8) BNG Monitoring (Pre-occupation)
- 9) Lighting (Pre-occupation)
- 10) Noise from building services plant and vents (Compliance)
- 11) Secure by Design Accreditation (Pre-above ground works)
- 12) Secured by Design Certification (Pre-occupation)
- 13) Surface Water Drainage (Pre-commencement)
- 14) SuDS Management and Maintenance Strategy (Pre-occupation)
- 15) Piling Method Statement (Pre-commencement)
- 16) Land Contamination (Pre-commencement)
- 17) Unexpected contamination (If identified)
- 18) NRMM (Pre-commencement)
- 19) Management and Control of Dust (Pre-commencement)
- 20) Delivery and Servicing and Waste Management Plan (Pre-occupation)
- 21) Construction Logistics and Management Plan (Pre-commencement)
- 22) Considerate Constructors (Compliance)
- 23) Energy matters (Pre-above ground works)
- 24) Overheating (Pre-above ground works)
- 25) Living Roofs (Pre-above ground works)
- 26) Water Butts (Pre-occupation)
- 27) Urban Greening Factor (Compliance)
- 28) Arboricultural Method Statement (Compliance)
- 29) Tree protection (Pre-commencement)
- 30) Cycle Parking (Pre-occupation) – *ref the external short stay storage*
- 31) Electric Vehicle Charging (Pre-occupation)
- 32) Accessible Parking Bay(s) (Pre-commencement)
- 33) Car Parking Management Plan (Pre-occupation)
- 34) Waste/Recycling Storage (Prior to commencement of relevant part)
- 35) Restriction to Telecommunications Apparatus (Restriction)
- 36) Building Regulations Part M (Compliance)
- 37) Water Consumption (Pre-occupation)
- 38) Building C - obscure glazing and partial opening
- 39) Communal antenna

### Informatives:

- 1) Heads of Terms
- 2) CIL
- 3) Land ownership
- 4) Construction hours
- 5) Street numbering
- 6) Asbestos
- 7) Designing Out Crime
- 8) Signage
- 9) Thames Water build over agreement

## Appendix 1: Planning Conditions & Informatives

- 10) Thames Water Groundwater
- 11) Thames Water general information
- 12) Thames Water Sequential approach to the disposal of surface water
- 13) Thames Water Mains water for construction purposes

### 1. Time Limit (Compliance)

The development hereby authorised must be begun not later than the expiration of 3 years from the date of this permission, failing which the permission shall be of no effect.

Reason: This condition is imposed by virtue of the provisions of the Planning & Compulsory Purchase Act 2004 and to prevent the accumulation of unimplemented planning permissions.

### 2. Approved Plans and Documents (Compliance)

The development hereby authorised shall be carried out in accordance with the following approved plans and specifications:

As listed in Appendix 5

Reason: In order to avoid doubt and in the interests of good planning.

### 3. Materials (Prior to commencement of above ground works)

Prior to the commencement of above ground works of the relevant part of the development detailed drawings (including sections) to a scale of 1:20 to confirm the detailed design and materials of the:

- a) Detailed elevational treatment;
- b) Detailing of roof and parapet treatment;
- c) Windows and doors (including plan, elevation and section drawings indicating jamb, head, cill, reveal and surrounds of all external windows and doors at a scale of 1:10), which shall include a recess of at least 115mm;
- d) Details of street furniture outside of Building C;
- e) Details and locations of down pipes, rainwater pipes or foul pipes and all external vents;
- f) Details of balustrading;
- g) Facing brickwork: sample panels of proposed brickwork to be used showing the colour, texture, pointing, bond, mortar, and brickwork detailing shall be provided;
- h) Details of all enclosures and plant; and
- i) Any other external materials to be used;

together with a full schedule of the exact product references for all materials, shall be submitted to and approved in writing by the Local Planning Authority. The relevant part of the development shall not be occupied until the development has been carried out accordance with the approved details. The development shall thereafter be retained as such for its lifetime.

Reason: In order to safeguard and enhance the visual amenities of the locality and to comply with Policies DM1, DM8 and DM9 of the Development Management Development Plan Document 2017.

### 4. Boundary treatment and access control (Pre-occupation)



**Appendix 1: Planning Conditions & Informatives**

Prior to occupation of the development hereby approved details of exact finishing materials and heights to the boundary treatments, confirmation of and site access controls shall be submitted to, and approved in writing by, the Local Planning Authority. The development shall not be occupied until it has been constructed in accordance with the approved details, and thereafter the development shall be retained as such for its lifetime.

Reason: In order to provide a good quality local character, to protect residential amenity, and to promote secure and accessible environments and to comply with Policies DM1, DM2 and DM3 of the Development Management Development Plan Document 2017.

**5. Landscaping (Prior to commencement of relevant part)**

Prior to the commencement of the relevant part of the development hereby approved full details of both hard and soft landscape works shall be submitted to, and approved in writing by, the Local Planning Authority. These details shall include information regarding, as appropriate:

- a) Proposed finished levels or contours;
- b) Means of enclosure;
- c) Hard surfacing materials;
- d) Minor artefacts and structures (e.g. Furniture, signs, lighting etc.);
- e) Proposed and existing functional services above and below ground (e.g. drainage, power, communications cables, pipelines etc. indicating lines, manholes, supports etc.); and
- f) A plan for the layout of the potential two future car parking bays and amended landscaping and access for the amenity area to the rear of Block A.

The development shall not be occupied until the hard landscaping has been provided in accordance with the approved details, and thereafter the development shall be retained as such for the lifetime of the development.

Soft landscape works shall include:

- g) Planting plans;
- h) Written specifications (including details of cultivation and other operations associated with plant and/or grass establishment);
- i) Schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate; and
- j) Implementation and management programmes.
- k) The soft landscaping scheme shall include detailed drawings of: new trees and shrubs to be planted, together with a schedule of species.

The approved scheme of planting, seeding, turfing shall be carried out and implemented in accordance with the approved details in the first planting and seeding season following the occupation of the building or the completion of development (whichever is sooner). Any trees or plants, either existing or proposed, which, within a period of five years from the completion of the development die, are removed, become damaged or diseased shall be replaced in the next planting season with a similar size and species. The landscaping scheme, once implemented, is to be retained thereafter.

Reason: In order for the Local Planning Authority to assess the acceptability of any landscaping scheme in relation to the site itself, thereby ensuring a satisfactory setting

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for the proposed development in the interests of the visual amenity of the area and to comply with Policy SP11 of the Local Plan 2017 and Policy DM1 of the Development Management Development Plan Document 2017.

**6. Play equipment (Prior to commencement of relevant part)**

Prior to the commencement of the relevant part of the landscaping hereby approved full details of the play equipment (including a mix of traditional swing / slide type equipment and natural play equipment) proposed including a breakdown of equipment and age appropriateness shall be submitted to, and approved in writing by, the Local Planning Authority. The siting of the main child play equipment shall be suitably located away from the approved ground floor flat in Block A and the rear boundary of Dogan Terrace, Trinity Road.

Reason: In order to ensure suitable play equipment is provided for the relevant age groups and that siting of most noise generating activities are located away from the most noise sensitive locations, and to comply with Policy S4 of the London Plan 2021 and Policy DM1 of the Development Management Development Plan Document 2017.

**7. Biodiversity Net Gain Plan (Pre-commencement)**

Notwithstanding the submitted Preliminary Ecological Appraisal prepared by Ecology and Land Management, no works including demolition/site clearance shall take place until a Biodiversity Gain Plan has been submitted to, and approved in writing by, the Local Planning Authority. The plan shall demonstrate how the development will achieve a minimum of 10% biodiversity net gain, calculated using the latest Defra biodiversity metric, and shall include details of proposed measures such as:

- On-site habitat creation, including soft landscaping and tree planting;
- Biodiversity green roofs; and
- Any off-site biodiversity units or credits, if applicable.

The development shall be carried out and retained thereafter in full accordance with the approved Biodiversity Gain Plan.

Reason: In order to ensure the development delivers a biodiversity net gain on site in accordance with Schedule 7A of the Town and Country Planning Act 1990 and in the interests of ensuring measurable net gains to biodiversity in accordance with paragraphs 187 and 192 of the National Planning Policy Framework 2024, and in order to comply with policy G5 of the London Plan and Schedule 7A of the Town and Country Planning Act 1990 (as inserted by Schedule 14 of the Environment Act 2021).

**8. BNG Monitoring (Pre-occupation)**

Prior to first occupation of the development hereby approved, a Habitat Monitoring and Management Plan (HMMP) proportionate to the approved biodiversity measures shall be submitted to, and approved in writing, by the Local Planning Authority. The HMMP shall set out long-term management and monitoring arrangements and maintenance schedules for the biodiversity net gain measures, along with a methodology to ensure the submission of monitoring reports. for a period of at least 30 years; and it shall be implemented in full and adhered to throughout that period. Monitoring reports shall be submitted to, and approved in writing by, the Local Planning Authority at years 2, 5, 7, 10, 20 and 30 from commencement of development, unless otherwise agreed in the Biodiversity Net Gain Plan, demonstrating how the BNG is progressing towards achieving its objectives, evidence of arrangements, and any rectifying measures needed.

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Reason: In order to ensure that the development delivers a biodiversity net gain on site in accordance with Schedule 7A of the Town and Country Planning Act 1990 and in the interests of ensuring measurable net gains to biodiversity in accordance with paragraphs 187 and 192 of the National Planning Policy Framework 2024.

**9. Lighting (Pre-occupation)**

Prior to first occupation of the development hereby approved, details of all external lighting to building facades, street furniture, communal and public realm areas shall be submitted to, and approved in writing by, the Local Planning Authority, in consultation with the Metropolitan Police. The development shall not be occupied until it has been constructed in accordance with the approved details, and thereafter the development shall be retained as such for the lifetime of the development.

Reason: In order to ensure the design quality of the development and also to safeguard residential amenity and safety, in accordance with Policy DM1 of the Development Management Development Plan Document 2017.

**10. Noise from building services plant and vents (Compliance)**

Noise emitted by all building services plant shall not exceed the existing measured lowest LA90(15min) background noise level at any time when all plant is in use. The noise emitted shall be measured or predicted at 1.0m from the facade of the nearest residential window or at 1.2m above any adjacent residential garden, terrace, balcony or patio. The equipment shall be serviced regularly in accordance with manufacturer's instructions and as necessary to ensure that the requirements of the condition are maintained. If at any time the plant is unable to comply with this condition, it shall be switched off and not used again until it is able to comply.

Reason: In order to protect the amenities of residential occupiers, and to comply with Policy D14 of the London Plan 2021 and Policy DM1 of the Development Management Development Plan Document 2017; and Policy D11 of the London Plan 2021 and Policy DM2 of the Development Management Development Plan Document 2017.

**11. Secure by Design Accreditation (Pre-above ground works of each building)**

Prior to the commencement of above ground works of each building or part of a building, details shall be submitted to and approved, in writing, by the Local Planning Authority to demonstrate that such building or such part of a building can achieve 'Secured by Design' Accreditation. Accreditation must be achievable according to current and relevant Secured by Design guidelines at the time of above groundworks of each building within the development. Each building shall not be occupied until it has been constructed in accordance with the approved details, and thereafter the development shall be retained as such for the lifetime of the development.

Reason: In order to ensure safe and secure development and reduce crime, and to comply with Policy D11 of the London Plan 2021 and Policy DM2 of the Development Management Development Plan Document 2017.

**12. Secured by Design Certification (Pre-occupation)**

Prior to the first occupation of each building or part of a building hereby approved, 'Secured by Design' certification shall be obtained for such building or part of such building or its use and thereafter all features are to be retained for the lifetime of the

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development. The certification shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason: In order to ensure safe and secure development and reduce crime, and to comply with Policy D11 of the London Plan 2021 and Policy DM2 of the Haringey Development Management Development Plan Document 2017.

### 13. Surface Water Drainage (Pre-commencement)

No development shall take place until a detailed Surface Water Drainage Scheme for site has been submitted to, and approved in writing by, the Local Planning Authority. The detailed drainage scheme shall demonstrate:

- 1) Calculations including the Network Diagram cross referencing drainage elements confirming a full range of rainfall data for each return period for 7 days 24 hours provided by micro drainage modelling or similar simulating storms through the drainage system, with results of critical storms, demonstrating that there is no surcharging of the system for the 1 in 1 year storm, no flooding of the site for 1 in 30 year storm and that any above ground flooding for 1 in 100 year storm is limited to areas designated and safe to flood, away from sensitive infrastructure or buildings. These storms shall also include an allowance for climate change.
- 2) For the calculations above, the applicant shall utilise up to date FEH rainfall datasets (rather than usage of FSR rainfall method).
- 3) Evidence from Thames Water confirming that the site has an agreed rate and point of discharge.
- 4) Any overland flows as generated by the scheme would need to be directed to follow the path that overland flows currently follow. A diagrammatic indication of these routes on plan shall be submitted demonstrating that these flow paths would not pose a risk to properties and vulnerable development.

Reason: In the interests of managing drainage and flood risk for the development, and to comply with Policies SI12 and SI13 of the London Plan 2021 and Policies DM24, DM25 and DM29 of the Haringey Development Management Development Plan Document 2017.

### 14. SuDS Management and Maintenance Plan (Pre-occupation)

Prior to occupation of the development hereby approved, a detailed management and maintenance plan for sustainable urban drainage shall be submitted to, and approved in writing by, the Local Planning Authority. This shall include arrangements for adoption by an appropriate public body or statutory undertaker, management by a residents' management company or other arrangements to secure the operation of the drainage scheme throughout the lifetime of the development. The development shall be occupied in accordance with the approved Management and Maintenance Strategy.

Reason: In order to prevent the increased risk of flooding, to improve water quality, to ensure future maintenance of the surface water drainage system and to comply with Policy DM25 of the Development Management Development Plan Document 2017.

### 15. Piling Method Statement (Pre-commencement)

No piling shall take place until a Piling Method Statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling would be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) and piling

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layout plan including all Thames Water wastewater assets, the local topography and clearance between the face of the pile to the face of a pipe, has been submitted to, and approved in writing by, the Local Planning Authority in consultation with Thames Water. Any piling shall be undertaken in accordance with the terms of the approved piling method statement and piling layout plan.

Reason: In the interests of protecting the local underground sewerage utility infrastructure and to comply with Policy DM27 of the Development Management Development Plan Document 2017.

**16. Land Contamination (Pre-commencement)**

Before development hereby approved commences, other than for investigative work:

- a. A desktop study shall be carried out which shall include the identification of previous uses, potential contaminants that might be expected, given those uses, and other relevant information.
- b. Using this information, a diagrammatical representation (Conceptual Model) for the site of all potential contaminant sources, pathways and receptors shall be produced. The desktop study and Conceptual Model shall be submitted to, and approved in writing by, the Local Planning Authority. If the desktop study and Conceptual Model indicate no risk of harm, development shall not commence until approved in writing by the Local Planning Authority.
- c. If the desktop study and Conceptual Model indicate any risk of harm, a site investigation shall be designed for the site using information obtained from the desktop study and Conceptual Model. The site investigation shall be comprehensive enough to enable a risk assessment to be undertaken, refinement of the Conceptual Model, and the development of a Method Statement detailing the remediation requirements.
- d. The risk assessment and refined Conceptual Model shall be submitted to and approved in writing by the Local Planning Authority, along with the site investigation report, prior to remediation being carried out on site.
- e. Where remediation of contamination on the site is required, completion of the remediation detailed in the method statement shall be carried out and a report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority before the development is occupied.

Reason: In order to ensure the development can be implemented and occupied with adequate regard for environmental and public safety and to comply with Policy DM27 of the Development Management Development Plan Document 2017.

**17. Unexpected contamination (If identified)**

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to, and approved in writing by, the Local Planning Authority. The remediation strategy shall be implemented as approved.

Reasons: In order to ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable pollution from previously unidentified contamination sources at the development site in line with paragraph 187 of the

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National Planning Policy Framework, and to comply with Policy DM27 of the Development Management Development Plan Document 2017.

### 18. NRMM (Pre-commencement)

Prior to the commencement of the development hereby approved

- a. Evidence of site registration at <http://nrmm.london/> to allow continuing details of Non-Road Mobile Machinery (NRMM) and plant of net power between 37kW and 560 kW to be uploaded during the construction phase of the development shall be submitted to, and approved in writing by, the Local Planning Authority.
- b. Evidence that all plant and machinery to be used during the demolition and construction phases of the development which shall meet Stage IIIA of EU Directive 97/68/ EC for both NOx and PM emissions shall be submitted to, and approved in writing by, the Local Planning Authority.
- c. During the course of any demolition, site preparation and construction phase, an inventory and emissions records for all Non-Road Mobile Machinery (NRMM) shall be kept on site. The inventory shall demonstrate that all NRMM is regularly serviced and detail proof of emission limits for all equipment. All documentation shall be made available for inspection by Local Authority officers at all times until the completion of the development.

Reason: In order to protect local air quality, and to comply with Policy SI1 of the London Plan 2021 and the GLA NRMM LEZ.

### 19. Management and Control of Dust (Pre-commencement)

No development hereby approved shall commence until a detailed Air Quality and Dust Management Plan (AQDMP), detailing the management of demolition and construction dust, has been submitted to, and approved in writing by, the Local Planning Authority. The plan shall be in accordance with the GLA SPG Dust and Emissions Control and shall also include a Dust Risk Assessment. The works shall be carried out in accordance with the approved details thereafter.

Reason: In order to protect air quality, and to comply with Policy SI1 of the London Plan 2021 and GLA SPG Dust and Emissions Control 2014.

### 20. Delivery and Servicing and Waste Management Plan (Pre-occupation)

No development hereby approved shall be occupied until a Delivery and Servicing Plan (DSP) and Waste Management Plan (WMP) have been submitted to, and approved in writing by, the Local Planning Authority. The DSP and WMP shall be in place prior to first occupation of the development. The WMP shall include details of how refuse, included bulky items, will be collected from the development, and the plan shall be prepared in line with the requirements of the Council's waste management service which shall ensure that all bins are within 10 metres carrying distance of a refuse truck on a waste collection day. It shall also demonstrate how the development will include the consolidation of deliveries and enable last mile delivery using cargo bikes. Details shall be provided on how deliveries can take place without impacting on the public highway, and the document shall be produced in line with TfL guidance.

The Delivery and Servicing Plan (DSP) and WMP shall be reviewed annually in line with the travel plan for a period of 3 years, unless otherwise agreed in writing in advance by the Local Highways Authority.

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Reason: In order to ensure that the development does not prejudice the free flow of traffic or public safety along the neighbouring highway, and to comply with the TfL DSP guidance 2020.

### 21. Construction Logistics and Management Plan (Pre-commencement)

Six months prior to commencement of development hereby approved a Construction Logistics and Management Plan for the development shall be submitted to the Local Planning Authority.

The plan shall include the following matters, but shall not be limited to information on:

- a) Routing of excavation and construction vehicles, including a response to existing or known projected major building works at other sites in the vicinity and local works on the highway.
- b) The estimated number and type of vehicles per day/week.
- c) Estimates for the number and type of parking suspensions that will be required.
- d) Details of measures to protect pedestrians and other highway users from construction activities on the highway.
- e) The undertaking of a highways condition survey before and after completion.
- f) The implementation and use of the Construction Logistics and Community Safety (CLOCS) standard.

No development hereby approved shall commence until the submitted details have been approved in writing by the Local Planning Authority. The development shall only be undertaken in accordance with the details as approved.

Reason: In order to ensure that the impacts of the development on the local highways network are minimised during construction, and to coordinate construction activities in the area, and to comply with Policy T7 of the London Plan 2021.

### 22. Considerate Constructors (Compliance)

Prior to the commencement of development hereby approved, the Contractor Company must register with the Considerate Constructors Scheme.

Reason: In order to protect the amenity of local residents and in the interests of reducing greenhouse gas emissions, in accordance with Policy SI2 of the London Plan 2021.

### 23. Energy matters (Pre-above ground works)

The development hereby approved shall be constructed in accordance with the Energy Statement prepared by BWB consulting (dated Nov 2025) delivering a minimum 77% improvement on carbon emissions over 2021 Building Regulations Part L, with high fabric efficiencies, Communal and individual air source heat pumps (ASHPs) and a minimum 41.65 kWp solar photovoltaic (PV) array.

(a) Prior to above ground construction, details of an Energy Strategy shall be submitted to, and approved in writing by, the Local Planning Authority. This shall include:

- Confirmation of how the development will meet the zero-carbon policy requirement in line with the Energy Hierarchy;
- Confirmation of the necessary fabric efficiencies to achieve a minimum 29% reduction;
- Further exploration of measures to reduce the Energy Use Intensity;

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- Confirmation of improvement of the TFEE for units with negative or minimal improvement aiming to narrow the TFEE improvement range, prioritising higher performance where feasible;
- Location, specification and efficiency of the proposed ASHPs (Coefficient of Performance, Seasonal Coefficient of Performance, and the Seasonal Performance Factor), with plans showing the ASHP pipework and noise and visual mitigation measures;
- Specification and efficiency of the proposed Mechanical Ventilation and Heat Recovery (MVHR), with plans showing the rigid MVHR ducting and location of the unit;
- Details of the PV, demonstrating the roof area has been maximised, with the following details: a roof plan; the number, angle, orientation, type, and efficiency level of the PVs; how overheating of the panels will be minimised; their peak output (kWp) and annual energy generation (kWh/year); inverter capacity; and how the energy will be used on-site before exporting to the grid;
- Specification of any additional equipment installed to reduce carbon emissions, if relevant;
- A metering strategy

The development shall be carried out strictly in accordance with the details approved prior to first occupation, and shall be maintained and retained for the lifetime of the development.

(b) The solar PV arrays and air source heat pumps shall be installed and brought into use prior to first occupation of the relevant block. Six months following the first occupation of that block, evidence that the solar PV arrays have been installed correctly and are operational shall be submitted to, and approved in writing by, the Local Planning Authority, including photographs of the solar array, installer confirmation, an energy generation statement for the period that the solar PV array has been installed, and a Microgeneration Certification Scheme certificate. The solar PV array shall be installed with monitoring equipment prior to completion and shall be maintained at least annually thereafter.

(c) Within six months of first occupation, evidence shall be submitted to the Local Planning Authority that the development has been registered on the GLA's Be Seen energy monitoring platform.

Reason: In order to ensure the development reduces its impact on climate change by reducing carbon emissions on site in compliance with the Energy Hierarchy, and in line with Policy SI2 of the London Plan 2021, Policy SP4 of the Local Plan 2017 and Policy DM22 of the Development Management Development Plan Document 2017.

**24. Overheating (Pre-above ground works)**

(a) Prior to above ground commencement of the development, an updated Overheating Report shall be submitted to, and approved in writing by, the Local Planning Authority. The submission shall assess the overheating risk, confirm the mitigation measures, and propose a retrofit plan. This assessment shall be based on the Overheating Assessment prepared by BWB consulting (dated Nov 2025) as a starting point, taking into account the outstanding requirements at application stage.

This report shall include:



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- Updated modelling of all relevant units in accordance with CIBSE TM59, using CIBSE TM49 London Weather Centre DSY1–3 (2020s) and DSY1 2050s and 2080s high emissions, 50% percentile, for both openable and closed window scenarios.
- Demonstration that the mandatory pass for DSY1 2020s would be achieved following the Cooling Hierarchy and in compliance with Building Regulations Part O, including:
  - o Natural ventilation scenario (without MVHR tempering) to evidence passive design optimisation (openable windows scenario).
  - o Mechanical ventilation scenario with maximised passive measures to reduce reliance on MVHR tempering (closed window scenario).
- Confirmation that the retrofit measures can be integrated within the design (e.g., if there is space for pipework to allow the retrofitting of cooling and ventilation equipment), setting out mitigation measures in line with the Cooling Hierarchy;
- Confirmation of who will be responsible to mitigate the overheating risk once the development is occupied.
- A heatwave plan and Home User Guide for occupants.

(b) Prior to occupation, the development shall be built in accordance with the approved overheating measures and retained thereafter for the lifetime of the development:

- Mechanical Ventilation with Heat Recovery (MVHR) with tempered air,
- Summer bypass function on MVHR units to avoid heat recovery during warm periods;
- Low g-value glazing (0.35–0.40);
- External shading via balconies as integrated into the façade design;
- Insulated hot water pipework and MVHR units located in utility cupboards to minimise internal heat gains;
- Any further mitigation measures as approved by or superseded by the latest approved Overheating Strategy.

If the design of Blocks are amended, or the heat network pipes would result in higher heat losses which would impact on the overheating risk of any units, a revised Overheating Strategy shall be submitted as part of the amendment application.

Reason: In the interest of reducing the impacts of climate change, to enable the Local Planning Authority to assess overheating risk and to ensure that any necessary mitigation measures are implemented prior to construction, and maintained, in accordance with Policy SI4 of the London Plan 2021, Policy SP4 of the Local Plan 2017 and Policy DM21 of the Development Management Development Plan Document 2017.

**25. Living Roofs (Pre-above ground works)**

(a) Prior to commencement of above ground works of the development hereby approved, details of the living roofs shall be submitted to, and approved in writing by, the Local Planning Authority. Living roofs shall be planted with flowering species that provide amenity and biodiversity value at different times of year. Plants shall be grown and sourced from the UK and all soils and compost used must be peat-free, to reduce the impact on climate change.

The submission shall include:

- i) A roof plan identifying where the living roofs will be located;
- ii) A section demonstrating settled substrate levels of no less than 120mm for extensive living roofs (varying depths of 120-180mm), and no less than 250mm for intensive living roofs (including planters on amenity roof terraces);

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- iii) Roof plans annotating details of the substrate: showing at least two substrate types across the roofs, annotating contours of the varying depths of substrate
- iv) Details of the proposed type of invertebrate habitat structures with a minimum of one feature per 30m<sup>2</sup> of living roof: substrate mounds and 0.5m high sandy piles in areas with the greatest structural support to provide a variation in habitat; semi-buried log piles / flat stones for invertebrates with a minimum footprint of 1m<sup>2</sup> , rope coils, pebble mounds of water trays;
- v) Details on the range and seed spread of native species of (wild)flowers and herbs (minimum 10g/m<sup>2</sup>) and density of plug plants planted (minimum 20/m<sup>2</sup> with root ball of plugs 25cm<sup>3</sup>) to benefit native wildlife, suitable for the amount of direct sunshine/shading of the different living roof spaces. The living roofs will not rely on one species of plant life such as Sedum (which are not native);
- vi) Roof plans and sections showing the relationship between the living roof areas and photovoltaic array; and
- vii) Management and maintenance plan, including frequency of watering arrangements.
- viii) A section showing the build-up of the blue roofs and confirmation of the water attenuation properties, and feasibility of collecting the rainwater and using this on site;

(b) Prior to the occupation of 90% of the dwellings evidence shall be submitted to, and approved in writing by, the Local Planning Authority demonstrating that the living roofs have been delivered in line with the details set out in point (a). This evidence shall include photographs demonstrating the measured depth of substrate, planting and biodiversity measures. If the Local Planning Authority finds that the living roofs have not been delivered to the approved standards, the applicant shall rectify this to ensure it complies with the condition. The living roofs shall be retained thereafter for the lifetime of the development in accordance with the approved management and maintenance arrangements.

Reason: In order to ensure that the development provides the maximum provision towards the creation of habitats for biodiversity and supports the water retention on site during rainfall, and to comply with Policies G1, G5, G6, SI1 and SI2 of the London Plan 2021 and Policies SP4, SP5, SP11 and SP13 of the Local Plan 2017.

### 26. Water Butts (Pre-occupation)

No dwelling shall be occupied until details of the location and implementation of a water butt of at least 120L internal capacity to be installed to intercept rainwater draining from the roof of each building (Blocks A, B and C) has been submitted to, and approved in writing by, the Local Planning Authority and subsequently provided. The approved facilities shall thereafter be retained and maintained.

Reason: In order to reduce the risk of flooding and demand for water, increase the level of sustainability of the development and in line with Policy SP5 of the Local Plan 2017 and Policies DM21, DM24 and DM25 of the Development Management Development Plan Document 2017.

### 27. Urban Greening Factor (Compliance)

Prior to completion of the construction work, an Urban Greening Factor analysis, with the anticipated end calculation for the scheme, shall be submitted to, and approved in writing by, the Local Planning Authority, demonstrating the target factor of at least 0.47, identified within the planning application, has been met through greening measures. If

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this is not achievable, demonstrable evidence shall be submitted to demonstrate how best endeavours have been made to reach the highest possible target.

Reason: In order to ensure that the development provides the maximum provision towards the urban greening of the local environment, creation of habitats for biodiversity and the mitigation and adaptation of climate change and to comply with Policies G1, G5, G6, SI1 and SI12 of the London Plan 2021 and Policies SP4, SP5, SP11 and SP13 of the Local Plan 2017.

**28. Arboricultural Method Statement (Compliance)**

The development shall be constructed in accordance with the recommendations set out in the Arboricultural Method Statement by Sharon Hosegood Associates dated May 2025, which has been drafted in accordance with industry best practice and specifies all the necessary measures to be implemented to ensure the trees being retained will be adequately protected.

Reason: In order to ensure the safety and wellbeing of the trees on the site during construction works that are to remain after building works are completed and to comply with Policy G7 of the London Plan 2021 and Policy DM1 of the Development Management Development Plan Document 2017.

**29. Tree protection (Pre-commencement)**

No development shall commence until a tree protection strategy has been submitted to, and approved in writing by, the Local planning Authority for all trees to be retained, as indicated on the approved drawings on site and adjacent to the site boundaries. This shall demonstrate how trees would be protected by secure, stout, exclusion fencing erected at a minimum distance equivalent to the branch spread of the trees and in accordance with BS 3998:2010 and to a suitable height. Any works connected with the approved scheme within the branch spread of the trees shall be 'by hand' only. No storage of materials, supplies or plant machinery shall be stored, parked, or allowed access beneath the branch spread of the tree(s) or within the exclusion fencing.

Reason: In order to ensure the safety and wellbeing of the trees during construction works that are to remain after building works are completed, and to comply with Policy DM1 of the Development Management Development Plan Document 2017.

**30. Cycle Parking (Pre-occupation)**

The development shall not be occupied until plans and details have been submitted to, and approved in writing by, the Local Planning Authority showing accessible, sheltered, and secure cycle parking comprising a total of 72 spaces including 26 spaces in Block A and 31 spaces in Block B, internal cycling storage areas for Building C and two external short-stay bays. The design shall be in accordance with the London Cycle Design Standard. The development shall not be occupied until the approved details are implemented. These facilities shall thereafter be retained for the lifetime of the development.

Reason: In order to provide adequate cycle parking, and to comply with Policy T5 of the London Plan 2021, and London Cycle Design Standards (LCDS).

**31. Electric Vehicle Charging (Pre-occupation)**

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The development shall not be occupied until one active electric vehicle charging point (EVCP) has been installed and made active, and infrastructure for a potential further two bays is installed. The EVCPs shall remain active for the lifetime of the development.

Reason: In order to provide adequate EVCP facilities and to comply with Chapter 5 Transport & Parking and Policy T6.1 of the London Plan 2021.

**32. Accessible Parking Bay(s) (Pre-commencement)**

The development shall not be occupied until the one accessible car parking space has been provided on site, and a plan for the layout of the potential two future parking bays (as required by Condition 5) has been submitted to, and approved in writing by, the Local Planning Authority. In the event that the further accessible car parking is required in the future it shall be provided in accordance with the approved details, and retained as such.

Reason: In order to ensure adequate car parking is available, and to comply with Policies T6.1 Residential parking, T6.5 Non-residential disabled persons parking of the London Plan 2021, and the Department for Transport's Inclusive Mobility guidance.

**33. Car Parking Management Plan (Pre-occupation)**

The development shall not be occupied until a Car Parking Management Plan has been submitted to, and approved in writing by, the Local Planning Authority. The plan shall include details on the allocation and management of the on-site car parking space and the mechanism for allocating and managing the two further accessible parking bays. The car parking shall remain connected to the development and shall not be leased or sold for the lifetime of the development. The accessible parking bay(s) shall be allocated to the Part M4(3) Wheelchair User Dwelling(s) and shall be on short term leases, not longer than a maximum of 2 years.

Reason: In order to ensure adequate parking and to comply with Policies T6.1 and, T6.5 of the London Plan 2021.

**34. Waste/Recycling Storage (Prior to commencement of relevant part)**

Prior to commencement of the relevant part of the development, a detailed scheme for the provision of refuse and waste storage and recycling facilities shall have been submitted to, and approved in writing by, the Local Planning Authority. Such a scheme as approved shall be implemented prior to first occupation and permanently retained thereafter.

Reason: In order to protect the amenities of the locality, and to comply with Policy D6 of the London Plan 2021 and Policy DM4 of the Development Management Development Plan Document 2017.

**35. Restriction to Telecommunications Apparatus (Restriction)**

Notwithstanding any provisions to the contrary, no telecommunications apparatus shall be installed on the building without the prior written agreement of the Local Planning Authority.

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Reason: In order to control the visual appearance of the development, and to comply with Policies DM1 and DM9 of the Development Management Development Plan Document 2017.

### 36. Building Regulations Part M (Compliance)

Prior to occupation of each home designated on site as such (excluding the upper floor duplex apartments) they shall be built to Part M4(2) 'accessible and adaptable dwellings' of the Building Regulations 2013 (as amended), and at least 10% (four dwellings) shall be wheelchair accessible or easily adaptable for wheelchair use, in accordance with Part M4(3) of the same Regulations, unless otherwise agreed in writing in advance with the Local Planning Authority.

Reason: In order to ensure the provision of accessible dwellings, and to comply with Policy D7 of the London Plan 2021 and Policy SP2 of the Local Plan 2017.

### 37. Water Consumption (Pre-occupation)

The residential units hereby approved shall be constructed to meet, as a minimum, the higher Building Regulation standard Part G for water consumption, limited to 105 litres per person per day using the fittings approach.

Reason: In the interests of water efficiency considerations, to mitigate the impacts of climate change, promote sustainability, and use natural resources prudently and to comply with the National Planning Policy Framework (NPPF) and Policy SI5 of the London Plan 2021.

### 38. Building C - obscure glazing (Pre-occupation)

Prior to the first occupation of Building C of the development hereby approved, the second floor level habitable room windows in this block, along with the second floor level habitable room window on the side elevation (west) side of this block shall have been fitted with obscure glazing up to 1.7m in height above finished floor level; and any part of the window that is less than 1.7 metres above the finished floor level of the room in which it is installed shall be non-opening beyond a 45-degree angle. The windows shall be permanently retained and maintained as such thereafter for the lifetime of the development.

Reason: In order to avoid adverse overlooking into the adjoining properties, and to comply with Policy SP11 of the Haringey Local Plan 2017 and Policy DM1 of The Development Management DPD 2017.

### 39. Antenna (Removal of pd rights)

The placement of a satellite dish or television antenna on any external surface of the development is precluded, with exception provided for a communal solution for each block, details of which shall be submitted to, and approved in writing by, the Local Planning Authority prior to the first occupation of the development hereby approved. The provision shall be retained as installed thereafter.

Reason: In order to protect the visual amenity of the locality, and to comply with Policy DM1 of the Development Management Development Plan Document 2017.

## Informatives:

## Appendix 1: Planning Conditions & Informatives

### 1. Heads of Terms

This permission has an accompanying S106 legal agreement pertaining to a loss of employment contribution; highways works contribution; affordable housing review mechanisms; carbon mitigation and offset contribution; sustainable transport contributions, car free agreement; demolition and construction logistics plan and contribution; car club; future proofing additional accessible parking bays; local labour and training and monitoring fees.

### 2. CIL

Based on the information submitted on the plans, the Mayoral CIL charge will be £221,800.80 (3,120sqm x £71.09) and the Haringey CIL charge will be £842,212.80 (3120sqm x £269.94). These rates are based on the Annual CIL Rate Summary for 2025. This will be collected by Haringey after/should the scheme is/be implemented and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the RICS CIL Index.

### 3. Land Ownership

The applicant is advised that this planning permission does not convey the right to enter onto or build on land not within his ownership.

### 4. Construction hours

The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary is restricted to the following hours:-

8.00am - 6.00pm Monday to Friday

8.00am - 1.00pm Saturday

and not at all on Sundays and Bank Holidays.

### 5. Street numbering

The development will require numbering. The applicant should contact the Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 5573) to arrange for the allocation of a suitable address/numbering.

### 6. Asbestos

Prior to demolition of existing buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out.

### 7. Designing Out Crime

The applicant should seek the continual advice of the Metropolitan Police Service Designing Out Crime Officers (DOCOs) to achieve accreditation. The services of MPS DOCOs are available free of charge and can be contacted via docomailbox.ne@met.police.uk or 0208 217 3813.

### 8. Signage

The applicant shall use reasonable endeavours to enable the removal and repositioning of the existing former Fishmonger's Arms sign located on the side of the former public house building, to be secured through the Party Wall Agreement.

**Appendix 1: Planning Conditions & Informatives****9. Thames Water build over agreement**

Public sewers are crossing or close to the development. It is believed that the proposed development could be within 3 metres of a public sewer (of which, the internal diameter is less than or equal to 150mm). There are no mapped public sewers in the vicinity, however following the private sewer transfer in October 2011, it is likely that houses of this type and location will have unmapped public sewers within their boundary. Thames Water strongly recommend the applicant employ a professional to conduct a survey within the property to ascertain if any shared pipework is present. If there is, then please contact Thames Water again to discuss the next steps. Please refer to Thames Water's guide on working near or diverting our pipes: <https://www.thameswater.co.uk/developers/larger-scale-evelopments/planning-your-development/working-near-our-pipes>

Please ensure to apply to determine if a build over agreement will be granted.

**10. Thames Water Groundwater**

A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Thames Water would expect the developer to demonstrate what measures will be undertaken to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing [trade.effluent@thameswater.co.uk](mailto:trade.effluent@thameswater.co.uk)

Application forms should be completed on line via [www.thameswater.co.uk](http://www.thameswater.co.uk)

Please refer to the Wholesale; Business customers; Groundwater discharges section.

**11. Thames Water Sequential approach to the disposal of surface water**

Thames Water advise that if the developer follows the sequential approach to the disposal of surface water they would have no objection. Management of surface water from new developments should follow Policy SI 13 Sustainable drainage of the London Plan 2021. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Should you require further information please refer to Them's Water's website. <https://www.thameswater.co.uk/help/home-improvements/how-to-connect-to-a-sewer/sewer-connection-design>

**12. Thames Water Waste Water**

Thames Water advise that with regard to waste water network and sewage treatment works infrastructure capacity, they do not have any objection, based on the information provided.

**13. Thames Water Mains Water**

If planning on using mains water for construction purposes, it's important you let Thames Water know before you start using it, to avoid potential fines for improper usage. More information and how to apply can be found online at [thameswater.co.uk/buildingwater](http://thameswater.co.uk/buildingwater)

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## Appendix 2: Images of site and proposed scheme

### APPENDIX 2 IMAGES OF SITE AND PROPOSED SCHEME

#### Existing Site Location and Context



#### Site location



#### Existing office and sale area and view along Neville Place looking east

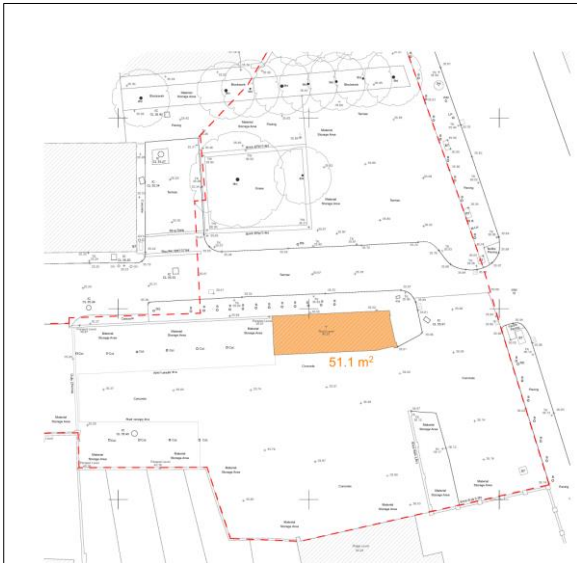


#### Surrounding context

#### View of the site from the south

## Appendix 2: Images of site and proposed scheme

### Existing Site Layout and Photos



Existing site layout



Photo showing the existing office and yard



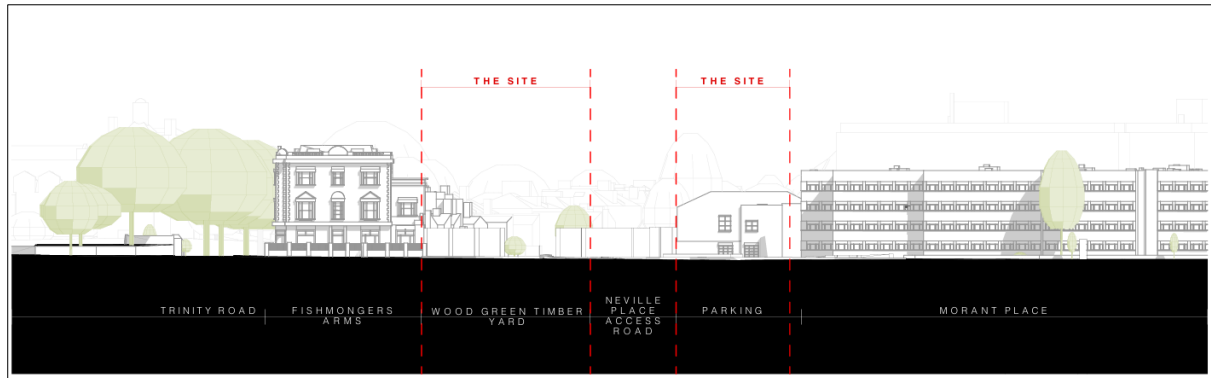
Views of the site from the High Road



## Appendix 2: Images of site and proposed scheme

The former Fishmonger Arms pub

### Context Drawings



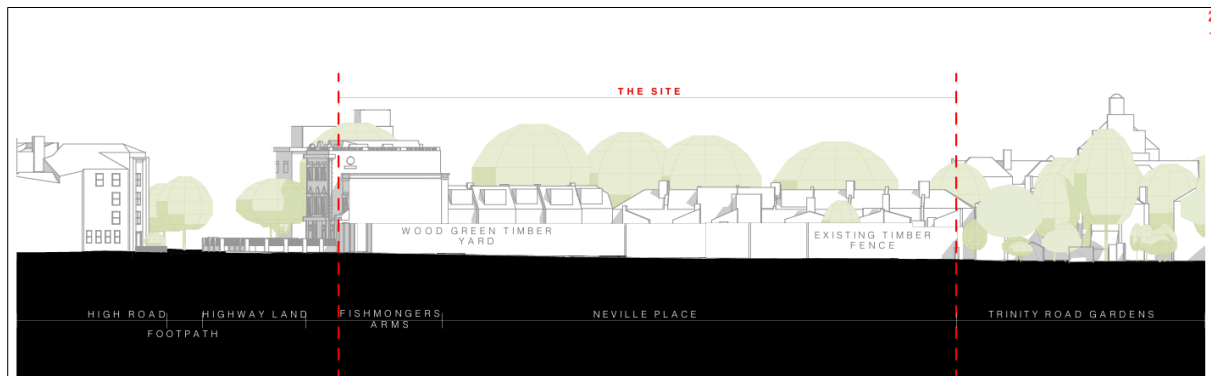
Existing Context East Elevation (facing High Road)



Proposed Context East Elevation (facing High Road)



Appendix 2: Images of site and proposed scheme

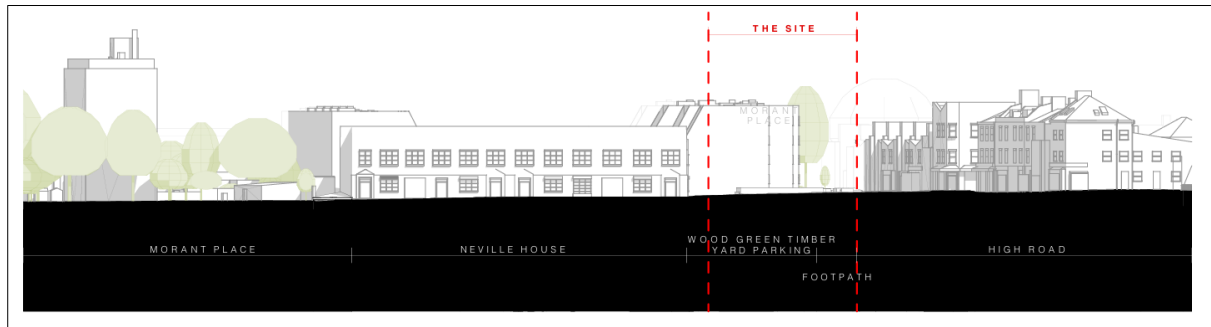


Existing Context North Elevation (Neville Place)

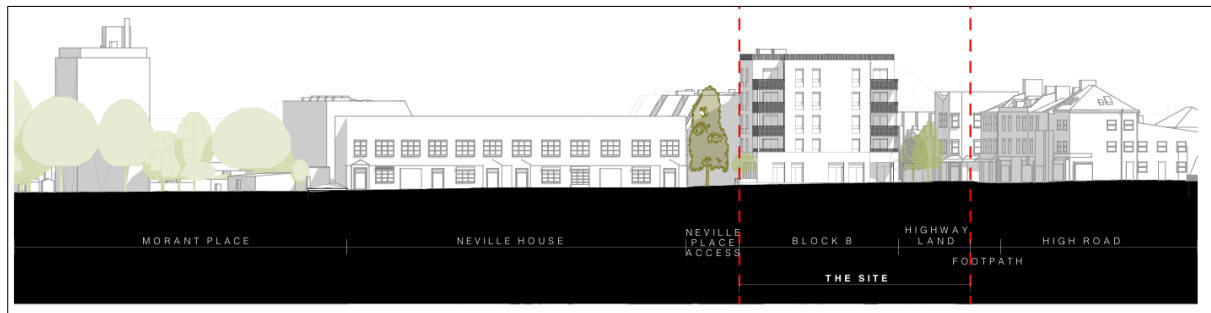


Proposed Context North Elevation (Neville Place)

Appendix 2: Images of site and proposed scheme



Existing Context South Elevation (Neville Place)



Proposed Context South Elevation (Neville Place)

Appendix 2: Images of site and proposed scheme



Existing Context South Elevation (facing Trinity Road Gardens)



Proposed Context South Elevation (facing Trinity Road Gardens)

## Appendix 2: Images of site and proposed scheme

### Proposed Elevations



### Block A



### Block B



### Block C

## Appendix 2: Images of site and proposed scheme

### Proposed Floor Plans



### Proposed Ground Floor Plan



### Proposed First Floor Plan



## Appendix 2: Images of site and proposed scheme



Proposed Second Floor Plan



Proposed Third Floor Plan

## Appendix 2: Images of site and proposed scheme



Proposed Fourth Floor Plan



Proposed Roof Plan



## Appendix 2: Images of site and proposed scheme

### CGIs of Scheme



Looking north along the High Road



Looking south towards the scheme



## Appendix 2: Images of site and proposed scheme



Proposal at Neville Place

## Façade Treatment



Block A

## Appendix 2: Images of site and proposed scheme



### Block B



### Block C

## Appendix 2: Images of site and proposed scheme



Landscape proposals – to the rear of Blocks A and B and fronting onto the High Street



Proposed play area

## Appendix 2: Images of site and proposed scheme



## Cycle Storage



## Bin Storage

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## Appendix 3: Internal and External consultation representations

| APPENDIX 3                    | INTERNAL AND EXTERNAL CONSULTEE COMMENTS  |   |
|-------------------------------|---|---|
| Stakeholder                   | Comment   | Response  |
| <b>INTERNAL CONSULTEES</b>    |   |   |
| <b>Arboricultural Officer</b> | <p>From an arboricultural point of view, I hold no objections to the proposal. The location is within the Trinity Gardens Conservation Area.</p> <p>An arboricultural survey has been submitted by Sharon Hosegood Associates dated May 2025. The report includes arboricultural method statement, standard method statements, and tree protection plan (TPP).</p> <p>I concur with much of the document including the tree quality classification categories.</p> <p>There is the removal of eight onsite trees and one off site tree (five category B and four category C). A mixture of 17 new standard trees are to be planted. A net gain of 8 trees.</p> <p>A biodiversity net gain and urban green factor has been carried out and meets the requirements.</p> <p>A detailed landscape plan has also been included.</p> <p>We will require a landscape specification, and an aftercare programme for the landscaping to ensure establishment and independence within the landscape.</p> <p>Providing all of the arboricultural report is adhered to and conditioned including the TPP Drawing Number SHA 1876 TPP, I have no major concerns or objections.</p> | Conditions for tree protection and planting recommended |
| <b>Carbon Management</b>      | <p><b>Carbon Management Response 27/10/2025</b></p> <p>In preparing this consultation response, we have reviewed:</p> <ul style="list-style-type: none"> <li>• Energy Statement prepared by BWB consulting (dated June 2025)</li> <li>• Part L 2021 GLA carbon emission reporting spreadsheet</li> <li>• Overheating Assessment prepared by BWB consulting (dated June 2025)</li> <li>• Sustainability Statement prepared by BWB consulting (dated June 2025)</li> <li>• Relevant supporting documents.</li> </ul> <p><b>Summary</b></p> <p>The development achieves a 77% reduction in regulated carbon dioxide emissions on site, which is supported in principle. This is achieved through a combination of high fabric efficiencies, communal and individual air source heat pumps (ASHPs), and a 41.65 kWp solar photovoltaic (PV) array. The proposal also includes living roofs, which are supported in principle subject to detailed design. In order to</p>  | Conditions and Obligations attached                     |

## Appendix 3: Internal and External consultation representations

comply with the zero-carbon policy, a carbon offset contribution of £22,230 is therefore required to offset the remaining emissions.

While the energy strategy is broadly supported, clarifications are required regarding the overheating strategy. The current approach relies on mechanical ventilation with air tempering, without sufficiently demonstrating how passive measures have been maximised in line with the London Plan's cooling hierarchy. The glazing ratio exceeds 50%, which is significantly above the LETI recommended range of 10–25%, suggesting that the orientation and layout of the proposed development have not been carefully optimised to minimise overheating risks.

Carbon Management cannot currently support this application. The development does not currently meet:

- London Plan Policy SI4 and Local Plan DM21: The overheating strategy does not follow the cooling hierarchy and fails to limit unwanted solar gains with passive measures, which is the first step of the cooling hierarchy. Dynamic thermal modelling must be revised using the Central London weather file and passive measures must be prioritised.

Further information is required to address these objections, particularly in relation to the Overheating Strategy. These issues should be addressed prior to determination.

### Energy Strategy

Policy SP4 of the Local Plan Strategic Policies, requires all new development to be zero carbon (i.e. a 100% improvement beyond Part L 2021). The London Plan (2021) further confirms this in Policy SI2.

The overall predicted reduction in CO<sub>2</sub> emissions for the development shows an improvement of approximately 77% in carbon emissions with SAP10.2 carbon factors, from the Baseline development model (which is Part L 2021 compliant). This represents an annual saving of approximately 26.7 tonnes of CO<sub>2</sub> from a baseline of 34.5 tCO<sub>2</sub>/year.

London Plan Policy SI2 requires major development proposals to calculate and minimise unregulated carbon emissions, not covered by Building Regulations. The calculated unregulated emissions are: 17.2 tCO<sub>2</sub>.

| <i>Site wide (SAP10.2 emission factors)</i>         |   |  |                                   |
|---|---|--|-----------------------------------|
|   | <b>Total regulated emissions<br/>(Tonnes CO<sub>2</sub> / year)</b> | <b>CO<sub>2</sub> savings<br/>(Tonnes CO<sub>2</sub> / year)</b> | <b>Percentage savings<br/>(%)</b> |
| <b>Part L 2021 baseline</b>                         | 34.5  |  |                                   |
| <b>Be Lean</b>                                      | 24.5  | 10.0   | 29%                               |
| <b>Be Clean</b>                                     | 24.5  | 0.0  | 0%                                |
| <b>Be Green</b>                                     | 7.8   | 16.7   | 48%                               |
| <b>Cumulative savings</b>                           |   | 26.7   | 77%                               |
| <b>Carbon shortfall to offset (tCO<sub>2</sub>)</b> | 7.8   |  |                                   |

## Appendix 3: Internal and External consultation representations

|                                   |  |
|-----------------------------------|--|
| <b>Carbon offset contribution</b> | £95 x 30 years x 7.8tCO <sub>2</sub> /year = £22,230 |
| <b>10% management fee</b>         | £2,223   |

| Residential   | Residential   |   |                        | Non-residential   |   |                       |
|---|---|---|------------------------|---|---|-----------------------|
|   | Total regulated emissions (Tonnes CO <sub>2</sub> / year) | CO <sub>2</sub> savings (Tonnes CO <sub>2</sub> / year) | Percentage savings (%) | Total regulated emissions (Tonnes CO <sub>2</sub> / year) | CO <sub>2</sub> savings (Tonnes CO <sub>2</sub> / year) | Percentage saving (%) |
| <b>Baseline</b>                                     | 32.1  |   |                        | 2.4   |   |                       |
| <b>Be Lean</b>                                      | 22.4  | 9.7   | 30%                    | 2.1   | 0.4   | 15%                   |
| <b>Be Clean</b>                                     | 22.4  | 0.0   | 0%                     | 2.1   | 0.0   | 0%                    |
| <b>Be Green</b>                                     | 6.8   | 15.6  | 49%                    | 1.0   | 1.0   | 42%                   |
| <b>Cumulative savings</b>                           |   | 25.3  | 79%                    |   | 1.4   | 57%                   |
| <b>Carbon shortfall to offset (tCO<sub>2</sub>)</b> | 6.8   |   |                        | 1.0   |   |                       |

**Energy Use Intensity (EUI) / Space Heating Demand (SHD)**

Applications are required to report on the total Energy Use Intensity (EUI) and Space Heating Demand (SHD), in line with the GLA Energy Assessment Guidance (June 2022). The Energy Strategy should follow the reporting template set out in Table 5 of the guidance, including what methodology has been used. EUI is a measure of the total energy consumed annually, but should exclude on-site renewable energy generation and energy use from electric vehicle charging.

|                         | Proposed Development   | GLA Benchmark  |
|-------------------------|--|--|
| <b>Building type</b>    | Residential  | Residential  |
| <b>EUI</b>              | 43.68 kWh/m <sup>2</sup> /year   | Does not meet GLA benchmark of 35 kWh/m <sup>2</sup> /year |
| <b>SHD</b>              | 12.73 kWh/m <sup>2</sup> /year   | Meets GLA benchmark of 15 kWh/m <sup>2</sup> /year         |
| <b>Methodology used</b> | Part L1 - SAP 10.2 & dwellings / Part L2 - approved DSM & Landlord Circulation |  |

**Actions:**

- The calculated Energy Use Intensity (excluding renewable energy) is higher than the GLA benchmark. This means the resulting operating energy costs will be high, and it is recommended to explore measures to minimise the EUI aiming for 35 kWh/m<sup>2</sup>/year.
- The report mentions high energy demand from heating, domestic hot water, and miscellaneous including electric heat network distribution and cooling. Please provide further information on this and proportion for each.

**Energy – Lean**

The applicant has proposed a saving of 10 tCO<sub>2</sub> in carbon emissions (29 %) through improved energy efficiency standards in key elements of the build. This goes beyond the minimum 10% and 15% reduction respectively set in London Plan Policy SI2, so this is supported.

The following u-values, g-values and air tightness are proposed:

|                       |                         |
|-----------------------|-------------------------|
| Floor u-value         | 0.11 W/m <sup>2</sup> K |
| External wall u-value | 0.15 W/m <sup>2</sup> K |
| Roof u-value          | 0.11 W/m <sup>2</sup> K |

## Appendix 3: Internal and External consultation representations

|   |  |
|---|--|
| Door u-value  | 1.20 W/m <sup>2</sup> K  |
| Window u-value  | 1.10 W/m <sup>2</sup> K  |
| G-value   | 0.40   |
| Air permeability rate                                       | 3 m <sup>3</sup> /hm <sup>2</sup> @ 50Pa   |
| Ventilation strategy  | Mechanical ventilation with heat recovery (MVHR 95% efficiency; 0.53 W/l/s Specific Fan Power) |
| Waste Water Heat recovery?                                  | Yes, 54.90% at a flow rate of 8.00 litres/minute.  |
| Thermal bridging  | Accredited Construction Details  |
| Low energy lighting   | 100%   |
| Improvement from the target fabric energy efficiency (TFEE) | -0.74% to 11.43 % improvement.   |

**Actions:**

- The improvement from the target fabric energy efficiency (TFEE) ranges from an increase of 0.74% to a decrease of 11.43%. Please provide reasons for such discrepancy and actions measures to improve the FEE.

Overheating is dealt with in more detail below.

**Energy – Clean**

London Plan Policy SI3 calls for major development in Heat Network Priority Areas to have a communal low-temperature heating system, with the heat source selected from a hierarchy of options (with connecting to a local existing or planned heat network at the top). Policy DM22 of the Development Management Document supports proposals that contribute to the provision and use of Decentralised Energy Network (DEN) infrastructure. It requires developments incorporating site-wide communal energy systems to examine opportunities to extend these systems beyond the site boundary to supply energy to neighbouring existing and planned future developments. It requires developments to prioritise connection to existing or planned future DENs.

The applicant is not proposing any Be Clean measures. The site is not within reasonable distance of a proposed Decentralised Energy Network (DEN).

**Energy – Green**

As part of the Be Green carbon reductions, all new developments must achieve a minimum reduction of 20% from on-site renewable energy generation to comply with Policy SP4.

| Proposed Renewable technologies                 | Type   | Specification  |
|---|--|--|
| <b>Main space heating system and DHW system</b> | Communal Air source heat pump to Block A, and B. | Heating min. SCOP: 3.57  |
|   | Individual ASHP to Block C                       | aroTHERM Plus 7 kW A+++ Air to Water Heat Pump (ASHP)<br>Heating min. SCOP: 3.39<br>DLF=1.50 |

## Appendix 3: Internal and External consultation representations

|  |  |                    |  |  |
|--|--|--------------------|--|--|
|  | <p><b>Solar PV residential</b></p>   | <p>Peak output</p> | <p>41.65 kWp covering 189.33 m<sup>2</sup></p> |  |
|  | <p><b>Energy – Be Seen</b></p> <p>London Plan Policy SI2 requests all developments to ‘be seen’, to monitor, verify and report on energy performance. The GLA requires all major development proposals to report on their modelled and measured operational energy performance. This will improve transparency on energy usage on sites, reduce the performance gap between modelled and measured energy use, and provide the applicant, building managers and occupants clarity on the performance of the building, equipment and renewable energy technologies.</p> <p>All major plants is proposed to be fitted with meters to allow remote monitoring of energy used by the heating systems and distribution boards. A commitment is proposed to be put in place to monitor the readings so that they can be compared with the predicted energy performance, and this information will be reported, as details in the GLA ‘Be Seen’ guidance.</p> <ul style="list-style-type: none"> <li>- Demonstrate that the planning stage energy performance data has been submitted to the GLA webform for this development: (<a href="https://www.london.gov.uk/what-we-do/planning/implementing-london-plan/london-plan-guidance/be-seen-energy-monitoring-guidance/be-seen-planning-stage-webform">https://www.london.gov.uk/what-we-do/planning/implementing-london-plan/london-plan-guidance/be-seen-energy-monitoring-guidance/be-seen-planning-stage-webform</a>)</li> </ul> <p><b>Carbon Offset Contribution</b></p> <p>A carbon shortfall of 7.8 tCO<sub>2</sub>/year remains. The remaining carbon emissions will need to be offset at £95/tCO<sub>2</sub> over 30 years.</p> <p><b>Overheating</b></p> <p>London Plan Policy SI4 requires developments to minimise adverse impacts on the urban heat island, reduce the potential for overheating and reduce reliance on air conditioning systems. Through careful design, layout, orientation, materials and incorporation of green infrastructure, designs must reduce overheating in line with the Cooling Hierarchy.</p> <p>In accordance with the Energy Assessment Guidance, the applicant has undertaken a dynamic thermal modelling assessment in line with CIBSE TM59 with TM49 weather files. The report has modelled 39 habitable rooms, 21 Living/Kitchen/Dining under the London Heathrow Weather files.</p> <p>The Air &amp; Noise assessments determined that all windows in the Proposed Development will need to always remain closed to adhere to internal noise criteria. Therefore, for TM59 compliance mechanical ventilation criteria is applicable. On this instance, natural ventilation criteria should also be reported to demonstrate that the passive measures have been maximised in line with the Cooling Hierarchy, and the façade design has been optimised regardless of the constraints posed by the site’s location.</p> <p>Results are listed in the table below.</p> |                    |  |  |

## Appendix 3: Internal and External consultation representations

| Domestic:<br>CIBSE<br>TM59 | Predominantly naturally ventilated      |   | Predominantly mechanically ventilated      |
|----------------------------|---|---|--|
|                            | Criterion A (<3% hours)                 | Criterion B for bedrooms (less than 33 hours) | Number of habitable rooms pass (<3% hours) |
| DSY1 2020s                 | Please model without MVHR air tempering | Please model without MVHR air tempering       | 60/60                                      |
| DSY2 2020s                 |   |   | 60/60                                      |
| DSY3 2020s                 |   |   | 55/60 (92%)                                |
| DSY1 2050s                 |   |   | 53/60 (88%)                                |
| DSY1 2080s                 |   |   | 50/60 (83%)                                |

All spaces pass the overheating requirements for 2020s DSY1, using MVHR with air tempering. The measures proposed does not follow the London Plan's Cooling Hierarchy and relies on mechanical ventilation with air tempering to achieve compliance. Several initial steps of the cooling hierarchy have been skipped which indicates the cooling demand has not been reduced and is very high, which will increase the energy costs of cooling.

The Early-Stage overheating risk toolkit indicates very high overheating risks in the proposed development. The proposed glazing ratio is more than 50% (more than double than the LETI recommended: 10-25%). This indicates that the orientation and layout of the proposed development have not been carefully optimised to minimise the risks of overheating.

On the other hand, the report claims to have designed energy efficient façade with appropriate proportion of glazing. However, this claim can be challenged as the energy demand is very high indicated by the high Energy Use Intensity of 43.68 kWh/m<sup>2</sup>/year compared to the GLA benchmark of 35 kWh/m<sup>2</sup>/year.

Overall, the submitted overheating strategy is not acceptable as it fails to limit unwanted solar gains with passive measures which is the first step of the cooling hierarchy. This goes against Policy SI4.

Actions:

- Redo the overheating modelling with the Central London weather file, which will more accurately represent the urban heat island effect.
- Include images indicating which sample dwellings were modelled and floorplans showing the modelled internal layout of dwellings.
- Please confirm else undertake further modelling:
  - o All single-aspect rooms facing west, east, and south;
  - o At least 50% of rooms on the top floor;
  - o 75% of all modelled rooms facing South or South/West;
  - o Communal corridors, where pipework runs through;
- Cooling Hierarchy:
  - o Demonstrate how the Cooling Hierarchy has been followed successfully and model the natural ventilation criteria without MVHR with air tempering to

## Appendix 3: Internal and External consultation representations

|  |  |  |
|--|--|--|
|  | <p>demonstrate façade design has been optimised regardless of the constraints posed by the site.</p> <ul style="list-style-type: none"> <li>○ Please amend the glazing ratio and explore more option to limited the direct solar gains with a shading strategy. Provide details of the shading strategy including: technical specification and images of the proposed shading feature (e.g. overhangs, Brise Soleil, external shutters), elevations and sections showing where these measures are proposed.</li> <li>○ The applicant must demonstrate that the risk of overheating has been reduced as far as practical and that all passive measures have been explored, including reduced glazing and increased external shading. The applicant should also outline a strategy for residents to cope in extreme weather events, e.g. use of fans.</li> </ul> <ul style="list-style-type: none"> <li>- Specify the active cooling demand (space cooling, not energy used) on an area-weighted average in MJ/m<sup>2</sup> and MY/year?</li> <li>- Set out a retrofit plan for future and more extreme weather files, demonstrating how these measures can be installed, how they would reduce the overheating risk, what their lifecycle replacement will be, and who will be responsible for overheating risk.</li> <li>- This development should have a heatwave plan / building user guide to mitigate overheating risk for occupants.</li> </ul> <p><b>Sustainability</b><br/>Policy DM21 of the Development Management Document requires developments to demonstrate sustainable design, layout and construction techniques.</p> <p>The submitted Sustainability Statement sets out a comprehensive approach to sustainable development, addressing a wide range of environmental and climate-related considerations. The proposal incorporates measures to improve sustainability across key areas including: transport, health and wellbeing, materials and waste, water consumption, flood risk and drainage, biodiversity, climate resilience, energy and CO<sub>2</sub> emissions, and landscape design. Specific commitments include water efficiency measures, sustainable material sourcing, and circular design principles to reduce whole-life carbon. The development also commits to responsible construction practices through registration with the Considerate Constructors Scheme and implementation of an Environmental Management System.</p> <p><b>Living roofs</b><br/>All development sites must incorporate urban greening within their fundamental design, in line with London Plan Policy G5.</p> <p>The development is proposing living roofs in the development. All landscaping proposals and living roofs should stimulate a variety of planting species. Mat-based, sedum systems are discouraged as they retain less rainfall and deliver limited biodiversity advantages. The growing medium for extensive roofs must be 120-150mm deep, and at least 250mm deep for intensive roofs (these are often roof-level amenity spaces) to ensure most plant species can establish and thrive and can withstand periods of drought. Living walls should be rooted in the ground with sufficient substrate depth.</p> |  |
|--|--|--|

## Appendix 3: Internal and External consultation representations

|  |  |  |
|--|--|--|
|  | <p>Living roofs are supported in principle, subject to detailed design. Details for living roofs will need to be submitted as part of a planning condition.</p> <p><b>Planning Obligations Heads of Terms</b></p> <ul style="list-style-type: none"> <li>- Be Seen commitment to uploading energy data</li> <li>- Energy Plan</li> <li>- Sustainability Review</li> <li>- Estimated carbon offset contribution (and associated obligations) of £22,230 (indicative), plus a 10% management fee; carbon offset contribution to be re-calculated at £2,850 per tCO<sub>2</sub> at the Energy Plan and Sustainability stages.</li> </ul> <p><b>Planning Conditions</b></p> <p>To be secured (with detailed wording TBC)</p> <ul style="list-style-type: none"> <li>- Energy strategy</li> <li>- Overheating</li> <li>- Living roofs</li> <li>- Water Butts</li> </ul> <p><b>Carbon Management Response 13/11/2025</b></p> <p>In preparing this consultation response, we have reviewed:</p> <ul style="list-style-type: none"> <li>• Energy Statement prepared by BWB consulting (dated Nov 2025)</li> <li>• Overheating Assessment prepared by BWB consulting (dated Nov 2025)</li> <li>• Relevant supporting documents.</li> </ul> <p><b>1. Summary</b></p> <p>The revised Energy Statement and applicant responses have been reviewed alongside the updated overheating assessment. The proposed development achieves a 77% reduction in regulated carbon emissions on-site, supported by high fabric efficiencies, communal and individual ASHPs, and a 41.65 kWp PV array. To comply with the zero-carbon policy, a carbon offset contribution of £22,230 is required to offset the remaining emissions, which will be secured through the s106 agreement.</p> <p>The updated overheating strategy is substantially improved and acceptable for planning, demonstrating full compliance for DSY1 2020s with MVHR and tempered air. However, given the high Energy Use Intensity associated with this approach, key passive measures should be integrated upfront rather than deferred to future retrofits to better align with the Cooling Hierarchy and London Plan Policy SI4. This requirement has been secured by condition.</p> <p><b>2. Updated Energy Strategy</b></p> <p>The updated energy strategy provides further information on the high Energy Use Intensity of the proposed development. The reported EUI is 43.68 kWh/m<sup>2</sup>/year, which exceeds the GLA benchmark of 35 kWh/m<sup>2</sup>/year. The report attributes this to:</p> <ul style="list-style-type: none"> <li>- Communal heating system for Block A &amp; B.</li> <li>- Mechanical ventilation with heat recovery (MVHR) required for overheating compliance due to acoustic constraints.</li> </ul> |  |
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## Appendix 3: Internal and External consultation representations

- Unregulated energy demand, accounting for around 40% of total EUI, driven by occupant behaviour.

The high EUI indicates elevated operating energy costs, and reduced alignment with GLA performance targets. Therefore, it is recommended to further explore passive design measures to reduce reliance on MVHR (e.g.: external shading, etc).

Fabric Energy Efficiency improvements range from **-0.74% to +11.43%**, showing inconsistency across units. Such disparity undermines equitable energy performance across units. Applicant notes variation due to dwelling size, orientation and position.

Therefore, it is recommended to adopt a tailored approach to improve TFEF for units with negative or minimal improvement aiming to narrow the TFEF improvement range, prioritising higher performance where feasible.

### 3. Updated Overheating Strategy

The applicant has addressed previous concerns and submitted an updated CIBSE TM59 assessment using London Weather Centre DSY1, DSY2, DSY3 and future scenarios (2050 & 2080). The modelling covers 93 habitable rooms, including top-floor and south-facing dwellings, and demonstrates compliance with TM59 criteria when MVHR with tempered air is applied.

Passive measures have been incorporated where feasible, including external shading via balconies, low g-value glazing, and energy-efficient façades. Natural ventilation results are reported to evidence optimisation of the façade design in line with the Cooling Hierarchy.

The report includes sample dwelling layouts, communal corridor assessment, a retrofit plan for future/extreme weather, and a heatwave user guide. Future scenarios show strong resilience (98.9% pass for 2050 and 89.3% for 2080), with clear mitigation strategies outlined.

Results are listed in the table below.

| Scenario                             | Compliance | Remarks   |
|--------------------------------------|------------|---|
| Natural Ventilation (DSY1)           | 96% pass   | Some bedrooms fail which indicates that passive design has not been fully explored. |
| Mechanical Ventilation only (DSY1)   | 4.3% pass  | Significant overheating risk if no tempered air.                                    |
| MVHR with Tempered Air (DSY1)        | 100% pass  | All rooms comply with TM59 criteria.  |
| MVHR with Tempered Air (DSY2 & DSY3) | 100% pass  | Good performance under short/long heatwaves.  |
| Future DSY1 2050                     | 98.9% pass | 1 LKD fails marginally in future scenarios  |
| Future DSY1 2080                     | 89.3% pass | 10 rooms fail; retrofit measures recommended.                                       |

However, reliance on MVHR with tempered air remains necessary due to acoustic constraints, and the updated energy assessment indicates a high Energy Use Intensity (EUI) associated with this approach. It is therefore recommended to integrate key passive measures upfront rather than as future retrofits—such as additional

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|  | <p>external shading and reduced glazing ratios—to better demonstrate compliance with the Cooling Hierarchy and London Plan Policy SI4. This has been conditioned.</p> <p><b>4. Planning Obligations Heads of Terms</b></p> <ul style="list-style-type: none"> <li>- Be Seen commitment to uploading energy data</li> <li>- Energy Plan</li> <li>- Sustainability Review</li> <li>- Estimated carbon offset contribution (and associated obligations) of £22,230 (indicative), plus a 10% management fee; carbon offset contribution to be re-calculated at £2,850 per tCO<sub>2</sub> at the Energy Plan and Sustainability stages.</li> </ul> <p><b>5. Planning Conditions</b></p> <p><b>Energy strategy</b><br/> <i>The development hereby approved shall be constructed in accordance with the Energy Statement prepared by BWB consulting (dated Nov 2025) delivering a minimum 77% improvement on carbon emissions over 2021 Building Regulations Part L, with high fabric efficiencies, Communal and individual air source heat pumps (ASHPs) and a minimum 41.65 kWp solar photovoltaic (PV) array.</i></p> <p><i>(a) Prior to above ground construction, details of the Energy Strategy shall be submitted to and approved by the Local Planning Authority. This must include:</i></p> <ul style="list-style-type: none"> <li>- Confirmation of how this development will meet the zero-carbon policy requirement in line with the Energy Hierarchy;</li> <li>- Confirmation of the necessary fabric efficiencies to achieve a minimum 29% reduction;</li> <li>- Further explore measures to reduce the Energy Use Intensity;</li> <li>- Confirmation of improvement of the TFEI for units with negative or minimal improvement aiming to narrow the TFEI improvement range, prioritising higher performance where feasible;</li> <li>- Location, specification and efficiency of the proposed ASHPs (Coefficient of Performance, Seasonal Coefficient of Performance, and the Seasonal Performance Factor), with plans showing the ASHP pipework and noise and visual mitigation measures;</li> <li>- Specification and efficiency of the proposed Mechanical Ventilation and Heat Recovery (MVHR), with plans showing the rigid MVHR ducting and location of the unit;</li> <li>- Details of the PV, demonstrating the roof area has been maximised, with the following details: a roof plan; the number, angle, orientation, type, and efficiency level of the PVs; how overheating of the panels will be minimised; their peak output (kWp) and annual energy generation (kWh/year); inverter capacity; and how the energy will be used on-site before exporting to the grid;</li> <li>- Specification of any additional equipment installed to reduce carbon emissions, if relevant;</li> <li>- A metering strategy</li> </ul> <p><i>The development shall be carried out strictly in accordance with the details so approved prior to first operation and shall be maintained and retained for the lifetime of the development.</i></p> |  |
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|  | <p><i>(b) The solar PV arrays and air source heat pumps must be installed and brought into use prior to first occupation of the relevant block. Six months following the first occupation of that block, evidence that the solar PV arrays have been installed correctly and are operational shall be submitted to and approved by the Local Planning Authority, including photographs of the solar array, installer confirmation, an energy generation statement for the period that the solar PV array has been installed, and a Microgeneration Certification Scheme certificate. The solar PV array shall be installed with monitoring equipment prior to completion and shall be maintained at least annually thereafter.</i></p> <p><i>(c) Within six months of first occupation, evidence shall be submitted to the Local Planning Authority that the development has been registered on the GLA's Be Seen energy monitoring platform.</i></p> <p><i>Reason: To ensure the development reduces its impact on climate change by reducing carbon emissions on site in compliance with the Energy Hierarchy, and in line with London Plan (2021) Policy SI2, and Local Plan (2017) Policies SP4 and DM22.</i></p> <p><b>Overheating</b></p> <p><i>Prior to the above ground commencement of the development, an updated Overheating Report shall be submitted to and approved by the Local Planning Authority. The submission shall assess the overheating risk, confirm the mitigation measures, and propose a retrofit plan. This assessment shall be based on the Overheating Assessment prepared by BWB consulting (dated Nov 2025) as a starting point, taking into account the outstanding requirements at application stage.</i></p> <p><i>This report shall include:</i></p> <ul style="list-style-type: none"> <li>- <i>Updated modelling of all relevant units in accordance with CIBSE TM59, using CIBSE TM49 London Weather Centre DSY1–3 (2020s) and DSY1 2050s and 2080s high emissions, 50% percentile, for both openable and closed window scenarios.</i></li> <li>- <i>Demonstration that the mandatory pass for DSY1 2020s can be achieved following the Cooling Hierarchy and in compliance with Building Regulations Part O, including:</i> <ul style="list-style-type: none"> <li>o <i>Natural ventilation scenario (without MVHR tempering) to evidence passive design optimisation (openable windows scenario).</i></li> <li>o <i>Mechanical ventilation scenario with maximised passive measures to reduce reliance on MVHR tempering (closed window scenario).</i></li> </ul> </li> <li>- <i>Confirmation that the retrofit measures can be integrated within the design (e.g., if there is space for pipework to allow the retrofitting of cooling and ventilation equipment), setting out mitigation measures in line with the Cooling Hierarchy;</i></li> <li>- <i>Confirmation who will be responsible to mitigate the overheating risk once the development is occupied.</i></li> <li>- <i>A heatwave plan and Home User Guide for occupants.</i></li> </ul> <p><i>(b) Prior to occupation of the development, details of internal blinds to all habitable rooms must be submitted for approval by the local planning authority. This should include the fixing mechanism, specification of the blinds, shading coefficient, etc. Occupiers must</i></p> |  |
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|  | <p><i>retain internal blinds for the lifetime of the development, or replace the blinds with equivalent or better shading coefficient specifications.</i></p> <p><i>(c) Prior to occupation, the development must be built in accordance with the approved overheating measures and retained thereafter for the lifetime of the development:</i></p> <ul style="list-style-type: none"> <li>- <i>Mechanical Ventilation with Heat Recovery (MVHR) with tempered air;</i></li> <li>- <i>Summer bypass function on MVHR units to avoid heat recovery during warm periods;</i></li> <li>- <i>Low g-value glazing (0.35–0.40);</i></li> <li>- <i>External shading via balconies as integrated into the façade design;</i></li> <li>- <i>Insulated hot water pipework and MVHR units located in utility cupboards to minimise internal heat gains;</i></li> <li>- <i>Any further mitigation measures as approved by or superseded by the latest approved Overheating Strategy.</i></li> </ul> <p><i>If the design of Blocks are amended, or the heat network pipes will result in higher heat losses and will impact on the overheating risk of any units, a revised Overheating Strategy must be submitted as part of the amendment application.</i></p> <p><i>REASON: In the interest of reducing the impacts of climate change, to enable the Local Planning Authority to assess overheating risk and to ensure that any necessary mitigation measures are implemented prior to construction, and maintained, in accordance with London Plan (2021) Policy SI4 and Local Plan (2017) Policies SP4 and DM21.</i></p> <p><b><i>Living roofs</i></b></p> <p><i>(a) Prior to the above ground commencement of development, details of the living roofs must be submitted to and approved in writing by the Local Planning Authority. Living roofs must be planted with flowering species that provide amenity and biodiversity value at different times of year. Plants must be grown and sourced from the UK and all soils and compost used must be peat-free, to reduce the impact on climate change. The submission shall include:</i></p> <ul style="list-style-type: none"> <li><i>i) A roof plan identifying where the living roofs will be located;</i></li> <li><i>ii) A section demonstrating settled substrate levels of no less than 120mm for extensive living roofs (varying depths of 120-180mm), and no less than 250mm for intensive living roofs (including planters on amenity roof terraces);</i></li> <li><i>iii) Roof plans annotating details of the substrate: showing at least two substrate types across the roofs, annotating contours of the varying depths of substrate</i></li> <li><i>iv) Details of the proposed type of invertebrate habitat structures with a minimum of one feature per 30m<sup>2</sup> of living roof: substrate mounds and 0.5m high sandy piles in areas with the greatest structural support to provide a variation in habitat; semi-buried log piles / flat stones for invertebrates with a minimum footprint of 1m<sup>2</sup>, rope coils, pebble mounds of water trays;</i></li> <li><i>v) Details on the range and seed spread of native species of (wild)flowers and herbs (minimum 10g/m<sup>2</sup>) and density of plug plants planted (minimum 20/m<sup>2</sup> with root ball of plugs 25cm<sup>3</sup>) to benefit native wildlife, suitable for the amount of direct sunshine/shading of the different living roof spaces. The living roofs will not rely on one species of plant life such as Sedum (which are not native);</i></li> <li><i>vi) Roof plans and sections showing the relationship between the living roof areas and photovoltaic array; and</i></li> </ul> |  |
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|                     | <p>vii) <i>Management and maintenance plan, including frequency of watering arrangements.</i></p> <p>viii) <i>A section showing the build-up of the blue roofs and confirmation of the water attenuation properties, and feasibility of collecting the rainwater and using this on site;</i></p> <p><i>(b) Prior to the occupation, evidence must be submitted to and approved by the Local Planning Authority that the living roof have been delivered in line with the details set out in point (a). This evidence shall include photographs demonstrating the measured depth of substrate, planting and biodiversity measures. If the Local Planning Authority finds that the living roofs have not been delivered to the approved standards, the applicant shall rectify this to ensure it complies with the condition. The living roofs shall be retained thereafter for the lifetime of the development in accordance with the approved management arrangements.</i></p> <p><i>Reason: To ensure that the development provides the maximum provision towards the creation of habitats for biodiversity and supports the water retention on site during rainfall. In accordance with London Plan (2021) Policies G1, G5, G6, SI1 and SI2 and Local Plan (2017) Policies SP4, SP5, SP11 and SP13.</i></p> <p><b>Water Butts</b></p> <p><i>No dwelling shall be occupied until details of the location of a water butt of at least 120L internal capacity to be installed to intercept rainwater draining from the roof of each dwelling has been submitted to and approved in writing by the Local Planning Authority and subsequently provided at each dwelling. The approved facilities shall be retained.</i></p> <p><i>Reason: To reduce the risk of flooding and demand for water, increase the level of sustainability of the development and in line with Haringey Local Plan Policy SP5, DM21, DM24 and DM25.</i></p> |                |
| <b>Conservation</b> | <p>The application site lies partially within the Trinity Gardens Conservation Area, adjacent to the locally listed building, the former Fishmongers Arms. The building also lies within the setting of several GII Listed buildings, including the trough to the front of the Fishmongers Arms, the Church of St Michael and All Angels, Trinity Primary School, Braemar Avenue Church. The locally listed Greek Orthodox Cathedral of St Mary also lies in the site's context.</p> <p>The spires and cupolas of the buildings within Trinity Gardens (Church of St Michael and All Angels, Trinity Primary School, Braemar Avenue Church, and the Greek Orthodox Cathedral of St Mary) form an important part of the townscape, particularly around the gardens themselves, the spire of Church of St Michael and All Angels forms a landmark along the High Street, particularly when approaching from the North and the prominence of these features as an important part of their significance should be maintained. The existing site is in use as a timber yard, whilst low level and not a dominant site as existing, the clutter associated with its use, stacked materials and racking, clutter the streetscene which is minorly detrimental to the setting of the GII water trough, the locally listed Fishmongers Arms, and this part of the Conservation area.</p> <p>The scheme has been progressed significantly during the pre-application discussions and further refined at application stage. The</p>  | Comments noted |

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|  | <p>building line has been designed to allow the Fishmongers Arms to remain visible and the spire of the GII listed Church of St Michael and All Angels to remain as a landmark feature when approaching from the north. This also maintains these buildings as identifiable markers of the beginning of the Trinity Gardens Conservation Area. Building heights have been brought down to more align with the adjacent buildings, including the locally listed building, and this means the development is not a dominant addition.</p> <p>The provided viewpoints have shown that the proposed buildings will be visible from Trinity Gardens. Whilst these will sit above the existing C19 houses which line the open space, it would not obstruct any of the views of the existing listed buildings, nor are they large enough to be dominant additions and would maintain the ability to appreciate the spires and cupolas which mark the Conservation Areas. The buildings would fit in with a pattern of existing larger buildings sitting on the edge and just outside of the Conservation Area. Whilst these existing older blocks are visible, their most conspicuous characteristic is generally the poorly considered plant and rooftop additions. The parapet and plant on the roof of the proposed buildings have been designed into the whole building which will improve the appearance of the rooftop additions and reduce their visibility. This approach will prevent them from detracting from the Conservation Area. This will need to be controlled through the detailed design stage as the mechanical requirements of the building are refined and should be subject to a condition on the permission.</p> <p>The massing of the buildings has been reduced and formed around providing a softer transition towards the locally listed building, staggering down in height to align with a smaller 'link' element. The geometries of the balconies and the different floor heights have been negotiated well and the section provided shows that the series of terraces are set back and allow the locally listed buildings features to remain appreciable from the street and in medium range views. The sign from the Fishmongers Arms is shown as being relocated on the building, its retention and relocation should be appropriately ensured. The architectural treatment of the development has been designed to not compete with the adjacent buildings and the approach outlined in the design and access statement is supported, high quality detailed design and materials should be ensured through condition.</p> <p>The loss of the visual clutter to the street, removing the stacking and material stacks associated with the sites current use would be a welcomed beneficial impact to the locally listed Fishmongers Arms, GII listed Trough and to this section of the Conservation Area. The impact on views from further within the Conservation Area would cause some minor harm to the significance of the Trinity Gardens Conservation Area through the additional massing above the C19 buildings, however the impact of this additional taller massing has been mitigated to some degree by ensuring the plant and roofscape of the new buildings is controlled to minimise any visual clutter and the conspicuousness of this additional massing, ensuring it is a background element in views. Since the spires and cupolas remain important features of the roofscape, the proposal would have a neutral impact on the significance of Church of St Michael and All Angels, Trinity Primary School, Braemar Avenue Church and the Greek Orthodox Cathedral of St Mary.</p> |  |
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|                       | Overall, taking into account and balancing all aspects of the scheme, the development would have a resultant neutral impact on the identified affected heritage assets, and the scheme would be supported by Conservation.  |                |
| <b>Design Officer</b> | <p><b><u>Site Location &amp; Context</u></b></p> <ol style="list-style-type: none"> <li>1. The site is currently used as a timber and other building materials merchants, in a series of walled outdoor yard spaces and irregular low rise buildings, extending into an area of adopted highway in front of their site on the Wood Green High Road frontage. The High Road is one of the main north-south arterial streets of Haringey, and in this location is just to the north of the major metropolitan centre of wood green, and more immediately the borough's Civic Centre, in a precinct of civic and community buildings amongst parkland, but the High Road becomes a predominantly residential street, interspersed with occasional retail and community uses from the former Fishmongers Arms, the site's immediate neighbour to the south, continuing northwards.</li> <li>2. Immediately north of the current timber yard, a cul-de-sac mews street, Neville Place, runs off the High Road, and on the north side of this, beside the High Road, the applicants also own an irregularly shaped plot, currently used for parking. Behind this, fronting Neville Place, a two storey building contains workspace, whilst north of this, fronting the High Road, is Morant Place, a council housing block. Designed by the modernist architect Ivor Smith, most renown for Sheffield's Park Hill Estate, this block lacks that estate's sense of composition; it fronts the High Road with four storeys of repetitive living room and bedroom windows and a strip of landscaping, but is accessed via a gated raised plaza from the north, and although it steps back behind the applicants' irregular shaped block, it has no interaction with either this application site or the street other than overlooking and gated pedestrian fire escape/servicing entrances.</li> </ol> <p><b><u>Principle of Development</u></b></p> <ol style="list-style-type: none"> <li>3. Although not an allocated site, the proposal is not overly constrained by many planning designations, other than being partly within the Trinity Gardens Conservation Area. For built heritage conservation comments, refer to the Conservation Officers.</li> <li>4. It is approximately 300m from Wood Green Underground Station, and with frequent bus services on the High Road itself is in a highly sustainable location, and is surrounded by predominantly residential development, but also including retail, civic, and community facilities. It is clear that this proposal represents a significant opportunity to regenerate a constrained, partially high street fronting, partially backland site, close to the Wood Green Metropolitan Centre, delivering new housing in accordance with the adopted Local Plan and emerging Local Plan objectives.</li> <li>5. The site has been subject to pre-application discussions and Quality Review Panel (QRP) scrutiny, resulting in a well-considered scheme that the panel consider responds positively to policy requirements for housing delivery, urban design quality, and amenity provision.</li> </ol> <p><b><u>Streetscape Character &amp; Pattern of Development</u></b></p> <ol style="list-style-type: none"> <li>6. The site sits on the High Road frontage and extends to the rear, accessed via the enlivened existing mews street. The</li> </ol> | Comments noted |

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|  | <p>High Road frontage contains the public entrances to the two taller flatted blocks, whilst refuse, cycles and plant are accessed around their sides and rear. The third block, along the south side of Neville Place, contain individual front doors to the ground floor flats and upper floor maisonettes, as well as ground floor kitchen windows and bench window seats, bringing considerably greater animation as well as significantly tidying up this mews street.</p> <p>7. A gated landscaped court separate the southern High Road block from the flank of the mews block and back gardens of existing houses to the south, with a second landscaped space for residents of this development takes up the angled space on the High Road frontage north of the northern High Road block. This will add greenery and resolve irregularities to the High Road frontage at the transition to the frontage to Morant Court. In front of the southern block, the land currently used by the timber yard will be recovered by Highways; it is to be hoped this can be used for public landscaping, potentially alongside cycle parking and/or EV charging spaces, but this is outside of the scope of this project.</p> <p>8. How the proposals meet the existing former Fishmongers Arms pub has been exceptionally carefully thought about, with the differences in levels created by the standard residential floor heights of this development successfully matched to the higher floor heights of the former pub, the rhythm and set backs of the side wing of the pub matched in the development, and provision made for relocation of the historic pub sign surviving on its flank wall included. The irregular site shape and proximity to existing neighbours have strongly influenced the design approach, requiring careful consideration of privacy, daylight, and massing.</p> <p><b><u>Height, Bulk and Massing</u></b></p> <p>9. The scheme proposes three blocks ranging from three to five storeys, arranged to create a new High Road frontage, further animating the existing internal mews street and providing communal amenity in two landscaped courtyards. The High Road frontage is graded with a distinct base, middle and top to follow the pattern of traditional buildings along this major arterial street and enhance its human scale.</p> <p>10. The massing strategy successfully mediates between the taller High Road context and the lower-scale residential hinterland, avoiding abrupt transitions. The stepped heights and articulated building forms help reduce perceived bulk, while maintaining efficient use of the site.</p> <p><b><u>Elevational Composition, Materials and Landscaping</u></b></p> <p>11. The architectural language is contemporary yet contextual, drawing on local character through brickwork and robust detailing. Fenestration is well-proportioned, with generous openings to maximise daylight and provide visual interest. Balconies are integrated into the façade composition rather than appearing as add-ons, and materials have been selected for durability and quality, subject to confirmation of materials samples to be secured by condition.</p> <p>12. Landscaping is a strong feature, with a central communal space incorporating play areas, seating, and new tree planting, as well as the more densely planted space to the north on the High Road frontage, providing defensible space between ground floor flats and the High Road frontage,</p> |  |
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|                                   | <p>mediate the awkward boundary between the site and Morant Court, and to offset the loss of existing trees.</p> <p><b><u>Residential Quality, including Space Standards, Privacy, Day and Sunlight</u></b></p> <p>13. All units meet or exceed the Nationally Described Space Standards, and layouts have been refined to maximise dual aspect opportunities, with an exceptionally high proportion of dual and triple aspect homes achieved for a relatively high density development following a relatively traditional, street-enclosing, tight-block urban form. Private amenity space is provided for all homes, via courtyard gardens, balconies, and roof terraces, supplemented by the two private communal landscaped amenity areas. Privacy has been carefully managed through window positioning and use of obscure glazing and angled projecting oriel windows where necessary.</p> <p>14. Daylight and sunlight analysis demonstrates high compliance with BRE guidance, with 99% of windows to neighbouring residential properties found to be unaffected by the proposed development, and the few affected only falling very marginally below their existing levels. A large proportion of existing neighbouring public and private amenity spaces will also be unaffected, with the majority of 18% affected still receiving as adequate levels of sunlight as defined in the BRE Guide.</p> <p>15. The applicants' consultants' assessment finds that 100% of the proposed amenity spaces will receive adequate sunlight, and that all habitable rooms in the proposed development will receive adequate daylight and 94% of relevant habitable rooms will receive adequate sunlight, as defined in the BRE Guide. Given that the BRE Guide is written with suburban development patterns in mind, the day and sunlight achieved is considered exceptionally good for a high-density development in a heavily built up area of London.</p> <p><b><u>Conclusions</u></b></p> <p>This is a well-designed, policy-compliant scheme that makes efficient use of a challenging site to deliver high-quality housing and public realm improvements. The proposals exhibit a coherent architectural language, appropriate massing, and strong attention to residential amenity. Subject to detailed conditions on materials and landscaping, the application is supported on design grounds.</p> |                     |
| <b>Lead Local Flood Authority</b> | <p>Thank you consulting us on the above planning application reference number HGY/2025/1769 for Demolition of the existing (B8) buildings and structures and erection of three residential (C3) buildings of three to five storeys comprising 36 new residential units, with landscaping including child play space, cycle parking, parking, removal of 8 trees and planting of 14 trees at 289-295 High Road, Wood Green, London, N22 8HU.</p> <p>Having reviewed the applicant's submitted Drainage Strategy Report reference number 25235-VTX-00-XX-RP-C-0001 Revision: 01 dated 30<sup>th</sup> May 2025 as prepared by Vertex Engineering Limited, we are generally content with the overall methodology used and mentioned within the above report, subject to following planning conditions to be implemented regarding the Surface water Drainage Strategy and it's management and maintenance plan.</p> <p>Surface Water Drainage condition</p>  | Conditions attached |

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|                  | <p>No development shall take place until a detailed Surface Water Drainage scheme for site has been submitted and approved in writing by the Local Planning Authority. The detailed drainage scheme shall demonstrate:</p> <ol style="list-style-type: none"> <li>1) Calculations including the Network Diagram cross referencing drainage elements confirming a full range of rainfall data for each return period for 7 days 24 hours provided by Micro drainage modelling or similar simulating storms through the drainage system, with results of critical storms, demonstrating that there is no surcharging of the system for the 1 in 1 year storm, no flooding of the site for 1 in 30 year storm and that any above ground flooding for 1 in 100 year storm is limited to areas designated and safe to flood, away from sensitive infrastructure or buildings. These storms should also include an allowance for climate change.</li> <li>2) For the calculations above, we request that the applicant utilises more up to date FEH rainfall datasets rather than usage of FSR rainfall method.</li> <li>3) An evidence from the Thames Water confirming that the site has an agreed rate and point of discharge.</li> <li>4) Any overland flows as generated by the scheme will need to be directed to follow the path that overland flows currently follow. A diagrammatic indication of these routes on plan demonstrating that these flow paths would not pose a risk to properties and vulnerable development.</li> </ol> <p>Reason : To endure that the principles of Sustainable Drainage are incorporated into this proposal and maintained thereafter.</p> <p>Management and Maintenance condition</p> <p>Prior to occupation of the development hereby approved, a detailed management maintenance plan for the lifetime of the development, which shall include arrangements for adoption by an appropriate public body or statutory undertaker, management by Residents management company or other arrangements to secure the operation of the drainage scheme throughout the lifetime of the development. The Management Maintenance Schedule shall be constructed in accordance with the approved details and thereafter retained.</p> <p>Reason: To prevent increased risk of flooding to improve water quality and amenity to ensure future maintenance of the surface water drainage system</p> <p>I hope the above is helpful. Please do not hesitate to contact me should you require any further information.</p> |   |
| <b>Noise</b>     | No objection   |   |
| <b>Pollution</b> | <p>Thank you for contacting the Carbon Management Team (Pollution) regarding the above application for the demolition of the existing (B8) buildings and structures and erection of three residential (C3) buildings of three to five storeys comprising 36 new residential units, with landscaping including child play space, cycle parking, parking,</p>  | <p>Comments noted – conditions and informatives</p> |

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|  | <p>removal of 8 trees and planting of 14 trees at 289-295 High Road, Wood Green, London, N22 8HU and I would like to comment as it relates to matters of this service as follows.</p> <p>Having considered the relevant applicant submitted information including, Design and Access Statement with reference 3613, prepared by Stockwool, dated 24 June 2025; Energy Statement with reference WTY-BWB-ZZ-XX-RP-BP-0002_Energy Statement, prepared by BWB Consulting Ltd., dated 5 June 2025, taking note of the proposal to install heat pumps and solar photovoltaic panels; Air Quality Assessment with reference WTY-BWB-XX-ZZ-LA-RP-0001-AQA, prepared by BWB Consulting Ltd, dated 23 May 2025 taking note of Section 3 (Methodology), 4 (Baseline Conditions), 5 (Construction Phase Dust Assessment), 6 (Operational Phase Mitigation), 7 (Air Quality Neutral Assessment); Contaminated Land Desk Study with reference J25126 prepared by Geotechnical &amp; Environmental Associates Ltd., dated 21 May 2025, taking note of Section 2 (The Site), 3 (Ground Conditions), 4 (Risk Assessment), 5 (Conclusions), please be advised that we have no objections to the proposed development in respect to air quality and land contamination but the following planning conditions and informative are recommended should planning permission be granted.</p> <p>1. Land Contamination<br/>Before development commences other than for investigative work:</p> <p>a) Using the information submitted in Contaminated Land Desk Study with reference J25126 prepared by Geotechnical &amp; Environmental Associates Ltd, a site investigation shall be designed for the site. The investigation must be comprehensive enough to enable: an updated risk assessment to be undertaken, refinement of the Conceptual Model, and the development of a Method Statement detailing the remediation requirements. The updated risk assessment and refined Conceptual Model along with the site investigation report, shall be submitted and approved in writing by the Local Planning Authority.</p> <p>b) If the updated risk assessment and refined Conceptual Model indicate any risk of harm, a Method Statement detailing the remediation requirements and any post remedial monitoring, using the information obtained from the site investigation, shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site. The remediation strategy shall then be implemented as approved.</p> <p>c) Before the development is occupied and where remediation is required, a verification report demonstrating that all works detailed in the remediation method statement have been completed shall be submitted to and approved in writing by the Local Planning Authority.</p> <p>Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety.</p> <p>2. Unexpected Contamination<br/>If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved.</p> |  |
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|  | <p>Reasons: To ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable levels water pollution from previously unidentified contamination sources at the development site in line with paragraph 109 of the National Planning Policy Framework.</p> <p>3. NRMM</p> <p>a) Prior to the commencement of the development, evidence of site registration at <a href="http://nrmm.london/">http://nrmm.london/</a> to allow continuing details of Non-Road Mobile Machinery (NRMM) and plant of net power between 37kW and 560 kW to be uploaded during the construction phase of the development shall be submitted to and approved by the Local Planning Authority.</p> <p>b) Evidence that all plant and machinery to be used during the demolition and construction phases of the development shall meets Stage IV of EU Directive 97/68/ EC for both NOx and PM emissions shall be submitted to the Local Planning Authority.</p> <p>c) During the course of the demolitions, site preparation and construction phases, an inventory and emissions records for all Non-Road Mobile Machinery (NRMM) shall be kept on site. The inventory shall demonstrate that all NRMM is regularly serviced and detail proof of emission limits for all equipment. All documentation shall be made available for inspection by Local Authority officers at all times until the completion of the development.</p> <p>Reason: To protect local air quality and comply with Policy 7.14 of the London Plan and the GLA NRMM LEZ</p> <p>4. Management and Control of Dust</p> <p>No works shall be carried out on the site until a detailed Air Quality and Dust Management Plan (AQDMP), detailing the management of demolition and construction dust, has been submitted and approved in writing by the LPA. The plan shall be in accordance with the GLA SPG Dust and Emissions Control and shall also include a Dust Risk Assessment. The works shall be carried out in accordance with the approved details thereafter.</p> <p>Reason: To Comply with Policy 7.14 of the London Plan and GLA SPG Dust and Emissions Control.</p> <p>5. Considerate Constructors Scheme</p> <p>Prior to the commencement of any works the site or Contractor Company must register with the Considerate Constructors Scheme. Proof of registration must be submitted to and approved in writing by the Local Planning Authority. Registration shall be maintained throughout construction.</p> <p>Reason: To Comply with Policy 7.14 of the London Plan.</p> <p>Informative:</p> <p>1. Prior to refurbishment or any construction work of the existing buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out.</p> |  |
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| <p><b>Transportation</b></p> | <p><u>Development proposal</u></p> <p>This application is for redevelopment of the Wood Green Timber site on Wood Green High Road. The existing site includes 1,200 sqm of Class B8 use operated as a timber yard by the 'Wood Green Timber Co Ltd'. The site includes the existing buildings plus a yard and parking areas.</p> <p>The proposal includes demolition of the existing buildings and redevelopment to include two residential blocks of up to five storeys that will front the High Road (Blocks A and B) and a three storey mews building to the rear (Block C). Blocks A and B are separated by the retained Neville Place. The scheme includes 36 residential units, broken down as follows;</p> <ul style="list-style-type: none"> <li>• Block A – 7 No. 1 bed, 6 No. 2 bed, 1 No. 3 bed</li> <li>• Block B – 8 No. 1 bed, 4 No. 3 bed</li> <li>• Block C – 5 No. 1 bed, 5 No. 3 bed</li> </ul> <p>In total</p> <ul style="list-style-type: none"> <li>• 20 No. 1 bed</li> <li>• 6 No. 2 bed</li> <li>• 10 No. 3 bed.</li> </ul> <p>Three of the above units will be fully accessible.</p> <p>The development is proposed as car free/permit free, with (initially) a single blue badge space within curtilage, and the ability to provide three within curtilage if demand arises. Cycle parking will be within stores in blocks A and B and within curtilage of the individual units in block C.</p> <p><u>Location and access</u></p> <p>This site is located to the western side of the Wood Green High Road, in between the junctions with Trinity Road and Neville Place. The existing vehicle access is via Neville Place. A private car parking area for the business is opposite the site on the northern side of Neville Place.</p> <p>The site has a PTAL value of 6A, considered 'excellent' access to public transport services. 12 bus services are available within 1 to 8 minutes' walk of the site and Wood Green Underground Station is a 6 minute walk away.</p> <p>The site is at the southern boundary of the Bounds Green East CPZ (Monday to Friday, 11.00 to 13.00) and close to the northern boundary of the Wood Green Outer CPZ (Monday to Saturday, 0800 to 1830).</p> <p><u>Transportation considerations</u></p> <p>A Transportation Assessment accompanies this application.</p> <p><u>Trip Generation</u></p> <p>The TA includes a trip generation for the residential redevelopment. this predicts a total of 135 inbound and 137 outbound person trips a day. The person trips generated in the AM and PM peaks will not be problematical in highway and public transport capacity terms.</p> <p>A comparison has been made with a similar trip generation exercise for the existing land use, and this details that in the peaks combined,</p> | <p>Clarification to the following:<br/>Travel Plan figure (corrected to £3000 over 5 years).<br/>PMP best way to address future provision of parking and secure this through S106. Car Club missed off of HoTs but should be included. £50 car club voucher rather than £100 would be okay</p> |
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|  | <p>there will be 21 more inbound trips and 19 more outbound trips. Essentially the trip generation in terms of numbers is slightly increased, however there will be far fewer vehicle trips on the network overall given the car free nature of this residential development compared against the vehicle trips generated by the timber yard.</p> <p><u>Car parking</u></p> <p>This application is proposed as 'car free' and 'permit free', with one off street blue badge bay included from the outset. It is noted that two additional bays are able to be provided by converting elements of the landscaped area.</p> <p>Given the site's location and PTAL value of 6A, it would meet policy DM32 for formalising as car/permit free. The applicant will need to enter into the appropriate Planning Agreement to do so and meet the Council's costs of £4000.</p> <p>The TA includes a parking stress survey.</p> <p>The overnight survey (on two nights) recorded a highest parking stress within the 200m walk distance of 51%, with 129 spaces occupied of the 253 within the survey area. For the second night the stresses were slightly lower at 49%. This indicates considerable spare capacity in the survey area.</p> <p>A daytime survey (11.00 to 13.00, which is CPZ operational hours) was also carried out for existing parking demands within Neville Place. This recorded maximum occupancy at 7 cars, and averaged out at 6 cars, a stress of 55% for the 11 spaces within Neville Place during CPZ operational hours.</p> <p>Considering the above, there is considerable spare parking capacity on street with the overnight scenario, which is normally the busiest period for assessing local parking demands. Whilst this proposal will be permit/car free, the area to the north of the site does only have two hours of operational CPZ during the day, and any new parking demands generated, whilst expected to be small, could seek to park in the locality. The spare capacity recorded means that there should not be any adverse impacts resulting from additional on street demands materialising.</p> <p><u>Access arrangements</u></p> <p>Blocks A and B fronting the High Road will be accessed from the High Road, and the houses/mews component directly from Neville Place. Refuse collections and delivery/service access is intended to be from Neville Place, as will vehicular access to the blue badge parking for the accessible units, which will be located off the highway within curtilage to the south side of Neville Place.</p> <p>In order to access the off street blue badge parking, an existing parking bay within Neville Place will be removed. This has been considered and in order to assess pedestrian and highway safety, a Stage 1 safety Audit has been undertaken to assess intervisibility between vehicles and pedestrians. This indicates that the proposed arrangement should have sufficient intervisibility and be a safe arrangement.</p> <p>The applicant proposes provision of the single blue badge bay at first, with the ability to provide two more if demands arise and occupiers request. The detail within the TA shows the three bay arrangement,</p> |  |
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|  | <p>with the bays accessed via a crossover/dropped kerb. The London Plan requires the ability to provide a dedicated blue badge bay for each fully accessible unit within the development site.</p> <p>A S278 agreement will be required to arrive at the future highway arrangements for this development, which includes the amendments to Neville Place (removal of a single CPZ bay, long dropped kerb and double yellow lines for the blue bay access, the turning head behind block B, and associated streetscape changes/improvements for the hardstanding highway area to the front of block A).</p> <p>An optimum arrangement for initially providing the single blue badge bay and ease to convert to three needs to be designed in to the permanent highway and development landscaping works.</p> <p>The developer has undertaken a combined stage 1/2 safety audit, which has considered the revised highway arrangements, and the only aspect requiring resolution was access to the three blue badge bays and the recommendation to implement double yellow lining across the crossover to prevent parking by other vehicles impeding access to the blue badge bays.</p> <p><u>Cycle parking</u></p> <p>The applicant proposes cycle parking stores at ground floor for blocks A (26 spaces) and B (31 spaces) utilising a mix of two tier and Sheffield stands. It is noted that 3 larger spaces are included. For the mews houses internal cycle storage of either 1 or 2 cycles is proposed (for studio and larger units).</p> <p>Two visitor cycle parking spaces are proposed, however this are to be in one of the cycle stores (it is not confirmed which one, or both). Visitor cycle parking spaces would therefore need the visitor to get access, normally cycle parking for visitors tends to be openly accessible, near an entrance or similar. More details are needed here.</p> <p>A pre commencement condition is required to ensure the applicant provides full layout and dimensional details of the proposed cycle parking arrangements, to demonstrate adherence with both the manufacturer's installation specifications and the London Cycle Design Standards as produced by TfL.</p> <p><u>Delivery and servicing arrangements</u></p> <p>The applicant is proposing almost all delivery and Servicing activity will take place on Neville Place making use of the double yellow lines. The turning head behind block B will enable forward gear access into and out of Neville Place. There is also the area of highway that is the hard standing to the front of Block A, intended for refuse vehicles to dwell in for collections from blocks A and B.</p> <p>On Neville Place there are two CPZ bays at the location of the yellow lines that will be in place to the immediate east of the 3 blue badge parking bays, so dwelling at that location may obstruct the highway. Otherwise, there are double yellow lines on the high road adjacent to the development component fronting the High Road, and the hardstanding area of highway to the frontage of block A. The applicant needs to be clearer on the proposed location for dwelling delivery and service vehicles, and this can be addressed via a pre commencement condition for a Delivery and Servicing Plan.</p> |  |
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Waste and recycling

As touched on above, the waste and recycling collection strategy includes the collection vehicle waiting on the public highway hardstanding area in front of Block A to collect from Blocks A and B. The vehicle will then reverse part-way down Neville Place under banksmen control to collect from Block C. with these arrangements the exit from the development back onto the High Road will be in a forward gear and bin dragging distances do not exceed 10m.

Travel Plan

A detailed draft of a travel plan is included. This appears sound in terms of scope, and contents. Some mode share targets have been included, which are for 5 percent increases in mode share for walking and cycling by year 5 survey. These will be able to be revisited following the initial occupancy survey. The council will require payment of a monitoring fee for officers to review and engage with the Travel Plan co-ordinator over the life of the Travel Plan, of £1000 per year the travel plan is active (assumed 5 years). More details are included in the proposed S106 obligation at the end of this response.

Car club

It is suggested that the developer provide a car club facility for this development. Whilst it is located with excellent access to public transport services, it is a car free development and areas to the north of the site are only covered two hours a day during the working week for formal CPZ controls.

This can be covered by the S106, and the applicant should obtain written recommendations from an appropriate car club provider for this development and implement them. It is expected this will include memberships for three years plus a driving credit for each unit, and potentially provision of a car/space within the locality of the site.

Construction phase

A draft CLP has been included within the application, this is useful and helpful and provides a template for the full pre commencement draft of the CLP that will be required.

The draft includes useful information such as the 90 weeks works duration, estimates of vehicle arrivals and departures (between 9 and 23 per day), confirmation that no plant or materials will be stored on the public highway and the use of banksmen to oversee all vehicle activity. There is also commentary on the proposed temporary loading bay arrangements on the public highway with two bays proposed, one in the hardstanding to block A, the other on Neville Place that will necessitate suspending two CPZ bays.

The final document should expand on the draft and include full details of the agreed temporary suspension and loading bay regime, as agreed with Haringey's Network Management officers, and confirm that all arrivals and departures will be contained to between 0930 and 1500. Details of the numbers of banksmen and their oversight regime will also be required to demonstrate how there will be full supervision of both construction vehicles and highway users as manoeuvres and access/egress is made.

Transportation contribution



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|  | <p>The Council is currently progressing designs for a junction improvement scheme at the junction of White Hart Lane and Trinity Road, to the immediate south of this site. This scheme will include measures to improve facility and safety for pedestrians and cyclists and improve connectivity to cross the High Road and make journeys east/west to and from the development. The junction will be signalised to manage vehicle movements through the junction, and formal pedestrian crossings along with advanced stop lines for cyclists and improved footway and tactile crossings will be implemented</p> <p>This will be of direct benefit to this scheme and the future occupiers. Accordingly, transportation consider a financial contribution of £80,000 appropriate towards the design and implementation costs.</p> <p><u>Summary</u><br/>This application is for redevelopment of the Wood Green Timber Yard on Wood Green High Road, to provide a car free residential redevelopment containing 36 units. The site is well located for local shops and services, and has excellent public transport accessibility.</p> <p>Cycle parking will be required to meet London Plan and London cycle design standards, clarity is needed in relation to the proposed arrangements for which a pre commencement condition is included. Clarity is also required with respect to the delivery and servicing arrangements, again this can be covered by pre commencement condition.</p> <p>A worked up Construction Logistics Plan will also be required given the site's access/location off the SRN. It is suggested car club provision is made for this development too.</p> <p>Subject to the following S106 obligations and conditions, Transportation do not object to this application.</p> <p><u>S106</u></p> <p><u>Car-Free Agreement</u><br/>The owner is required to enter into a Section 106 Agreement to ensure that the residential units are defined as "car free" and therefore no residents therein will be entitled to apply for a residents parking permit under the terms of the relevant Traffic Management Order (TMO) controlling on-street parking in the vicinity of the development. The applicant must contribute a sum of £4000 (four thousand pounds) towards the amendment of the Traffic Management Order for this purpose.</p> <p>Reason: To be in accordance with the published London Plan Policy T6.1 Residential Parking, and to ensure that the development proposal is car-free and any residual car parking demand generated by the development will not impact on existing residential amenity</p> <p><u>Travel Plan</u><br/>Within six (6) months of first occupation of the proposed new residential development a Travel Plan for the approved residential uses shall have been submitted to and approved by the Local Planning Authority detailing means of conveying information for new occupiers and techniques for advising residents of sustainable travel options. The Travel Plan shall then be implemented in accordance</p> |  |
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|  | <p>with a timetable of implementation, monitoring and review to be agreed in writing by the Local Planning Authority, we will require the following measures to be included as part of the travel plan in order to maximise the use of public transport:</p> <p>a) The developer must appoint a travel plan co-ordinator, working in collaboration with the Estate Management Team, to monitor the travel plan initiatives annually for a minimum period of 5 years.</p> <p>b) Provision of welcome induction packs containing public transport and cycling/walking information to every new resident, along with a £200 voucher for active travel related equipment purchases.</p> <p>c) The applicant is required to pay a sum of, £3,000 (three thousand pounds) for five years £15,000 (fifteen thousand pounds) in total for the monitoring of the travel plan initiatives.</p> <p>Reason: To enable residential occupiers to consider sustainable transport options, as part of the measures to limit any net increase in travel movements.</p> <p><u>Construction Logistics and Management Plan</u><br/>The applicant/developer is required to submit a Construction Logistics and Management Plan, 6 months (six months) prior to the commencement of development, and approved in writing by the local planning authority. The applicant will be required to contribute, by way of a Section 106 agreement, a sum of £5,000 (five thousand pounds) to cover officer time required to administer and oversee the temporary arrangements, and ensure highways impacts are managed to minimise nuisance for other highways users, local residents and businesses. The plan shall include the following matters, but not limited to, and the development shall be undertaken in accordance with the details as approved:</p> <p>a) Routing of excavation and construction vehicles, including a response to existing or known projected major building works at other sites in the vicinity and local works on the highway.</p> <p>b) The estimated number and type of vehicles per day/week.</p> <p>c) Estimates for the number and type of parking suspensions that will be required.</p> <p>d) Details of measures to protect pedestrians and other highway users from construction activities on the highway.</p> <p>e) The undertaking of a highway dilapidation survey.</p> <p>f) The implementation of the Construction Logistics and Community Safety (CLOCS) standard.</p> <p>Reason: To provide the framework for understanding and managing construction vehicle activity into and out of a proposed development in combination with other sites in the Wood Green area and to encourage modal shift and reducing overall vehicle numbers. To give the Council an overview of the expected logistics activity during the construction programme. To protect the amenity of neighbouring properties and to maintain traffic safety.</p> <p><u>Sustainable transportation contribution</u><br/>The applicant is to make a payment of £80,000 to contribute towards progressing the design and implementation of a junction improvement scheme at the junction of White Hart Lane and Trinity Road.</p> <p>Reason: To contribute towards improving connectivity and the environment for pedestrians and cyclists and provide a safe highway</p> |  |
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|  | <p>junction for all highway users. This will assist in improving walking and cycling mode shares and the aspirations of the Mayor's Transport Strategy.</p> <p><u>Highway Improvements</u><br/>The applicant will be required to enter into agreement with the Highway Authority under Section 278 of the Highways Act to pay for any necessary highway works, which includes if required, but not limited to, footway improvement works, access to the Highway, measures for street furniture relocation, carriageway markings, and access and visibility safety requirements.</p> <p>Unavoidable works required to be undertaken by Statutory Services will not be included in the Highway Works Estimate or Payment. The developer will be required to provide details of any temporary highways scheme required to enable the occupation of each phase of the development, which will have to be costed and implemented independently. The works include but are not limited to the removal of the crossover to the site to reinstate the footway and the creation of any on-street disabled car parking bays which will require electrification.<br/>The developer will be required to enter into the S.278 agreement before works commence on site.</p> <p>Reason: To implement the proposed highways works to facilitate future access to the development site.</p> <p><u>Conditions:</u></p> <p><u>Cycle Parking</u><br/>The applicant will be required to submit to the Highway Authority plans showing 81 accessible; sheltered, and secure cycle parking for long-stay residential cycle spaces, with 3 residential long-stay spaces being located in a more accessible location for approval.</p> <p>Reason: In order to be in accordance with the published London Plan 2021 Policy T5, the cycle parking must be in line with the London Cycle Design Standards (LCDS).</p> <p><u>Delivery and servicing plan</u><br/>The owner shall be required to submit a Delivery and Servicing Plan (DSP) for the local authority's approval. The DSP must be in place prior to occupation of the development. The service and deliver plan must also include a waste management plan which includes details of how refuse is to be collected from the site, the plan should be prepared in line with the requirements of the Council's waste management service which must ensure that all bins are within 10 metres carrying distances of a refuse truck on a waste collection day.</p> <p>Reason: To ensure that the development does not prejudice the free flow of traffic or public safety along the neighbouring highway.</p> <p><u>4. Electric Vehicle Charging</u><br/>Subject to a condition requiring the provision of 1no. active electric vehicle charging points to serve the on-site parking spaces from onset.<br/>Reason: to be in accordance with published London Plan 2021</p> <p><b>Additional justification of the 80K Highways requirement:</b></p> |  |
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|  | <p>This contribution of £80,000 is sought towards the design and implementation costs of the White Hart Lane to Lordship Lane corridor scheme that will connect west to east and includes measures at the Trinity Lane/High Road/Lordship Lane junction immediately to the south of this development site.</p> <p>The applicant has counter offered a contribution of £20,000, based on a numerical comparison of the numbers of trips predicted to be generated by this development with the civic centre development.</p> <p>Transportation however do consider that this development is a different type of development to the Civic Centre, and that trips will not be as focussed on the traditional AM and PM peaks, they will be spread throughout the day. This scheme that is being developed will provide multiple measures that will provide a safer/calmer highway environment for all users, in particular pedestrians and cyclists, through the introduction of signalised pedestrian/cycle crossings, raised side road crossings for pedestrians and marking/signage along this route. These measures will directly benefit the development and future occupiers of and visitors to it.</p> <p>This development will be a car free residential development and given the zero parking available, and high PTAL, will generate trips almost completely to be by foot/cycle to and from the site, considering last steps from public transport services and walk/cycle trips to local shops and facilities. The scheme also provides mitigation for potential additional parking demands.</p> <p>We consider the amount initially sought to be appropriate, the proposal to contribute a quarter of the amount sought is underplaying the importance of how the scheme will provide a considerable improvement in facility and infrastructure for active and sustainable modes.</p> <p>With regards to alignment with the NPPF criteria, we consider the contribution sought to be fair, reasonable, and proportionate. The Mayor's Transport Strategy seeks an increase in the mode share of active travel modes to 85 % of all trips by 2041, and this scheme would help align with these objectives, so the development and introduction of this scheme would considerably enhance the route from the development in all directions particularly to Wood Green town centre and public transport facilities.</p> <p>Haringey's Walking and Cycling Action Plan aligns with the Mayor's Transport Strategy, and in particular it identifies providing continuous, accessible, and intuitive walking and cycle routes is essential in the development of successful networks. Barriers such as crossing busy roads need to be overcome to do this such as the scheme will provide.</p> <p>Many other developments within Haringey are also making financial contributions towards similar scheme to improve active travel and road safety facilities and mitigate potential increases in parking demands, as well as the Civic centre redevelopment already referenced.</p> <p>These include;</p> |  |
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|                         | <p><u>175 Willoughby Lane</u> – 5600 sqm of B2/B8 space, a £120,000 contribution towards improvement of pedestrian crossing facilities at the Dysons Road/Leeside Road/Willoughby Lane/Brantwood Road junction plus £50,000 contribution towards feasibility and design of the Brantwood Road protected cycle track facility</p> <p><u>Broad Lane office redevelopment</u> – 5536 sqm office space - £60,000 contribution towards a scheme that provides an improved east – west corridor to Tottenham High Road, and includes a formalised signal crossing of Broad Lane, adjacent to the development site thus providing a safe pedestrian crossing of a TLRN road, encouraging walking and cycling and an improved route east/west.</p> <p><u>37 – 39 West Road</u> – 5989sqm B2/B8 commercial space - Parking management contribution of £24,000</p> <p><u>103 – 107 North Hill</u> – construction of a 50 bed care home/rehabilitation facility, £20,000 contribution towards enhanced parking controls</p> <p><u>18 West Road &amp; Unit 4 West Mews, Tottenham</u> – walking and cycling contribution of £25,000 and £40,000 towards improvement of parking enforcement/monitoring CCTV.</p> <p>Therefore, it is considered that the contribution sought is reasonable, proportionate, and fair, and it will help in achieving the aims of TfL's and Haringey's policies and directly benefit this development.</p>   |   |
| <b>Waste Management</b> | <p>Application Summary</p> <ul style="list-style-type: none"> <li>• Proposal: Demolition of existing B8 buildings and erection of three residential buildings (C3 use class) of 3–5 storeys, comprising 36 residential units.</li> <li>• Site Features: Includes landscaping, child play space, cycle parking, vehicle parking, removal of 8 trees, and planting of 14 new trees.</li> </ul> <p>Waste Management Strategy Overview</p> <p>To ensure the development aligns with Haringey Council's waste and recycling policies and supports sustainable urban living, the following waste strategy is proposed:</p> <p>1. Waste Storage Provision</p> <ul style="list-style-type: none"> <li>• Residential Units: Each block will be provided with dedicated refuse and recycling storage areas, sized in accordance with the London Plan and Haringey's Waste Storage Guidance.</li> <li>• Updated Waste Storage Requirements (Based on Haringey Standards) <ul style="list-style-type: none"> <li>• 1. Refuse (1 x 1100L per 6 dwellings):</li> <li>• 36 dwellings ÷ 6 = 6 x 1100L Eurobins</li> <li>• Total Refuse Capacity: 6,600L</li> <li>• 2. Recycling (1 x 1100L per 10 dwellings):</li> <li>• 36 dwellings ÷ 10 = 3.6 → rounded up to 4 x 1100L Eurobins</li> <li>• Total Recycling Capacity: 4,400L</li> <li>• 3. Food Waste (1 x 140L per 23 dwellings):</li> <li>• 36 dwellings ÷ 23 = 1.56 → rounded up to 2 x 140L bins</li> <li>• Total Food Waste Capacity: 280L</li> <li>• Allocated to BIN STORE A, B and C</li> <li>• Bin Types: Eurobins (1100L) for refuse and recycling; smaller caddies or 240L bins for food waste.</li> <li>• Bin Stores: Secure, ventilated, and easily accessible to residents</li> </ul> </li> </ul> | <p>Condition attached. Building Control covers details of stores in terms of ventilation etc.</p> |

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|                            | <p>and collection crews. Located within 10m of the highway for collection efficiency.</p> <p>2. Collection Arrangements</p> <ul style="list-style-type: none"> <li>• Frequency: Weekly collections for general waste, recycling, and food waste.</li> <li>• Access: Collection crews will not enter buildings; bins must be presented at the kerbside or designated collection point (Bin Store)</li> <li>• Vehicle Access: Swept path analysis must confirm that refuse vehicles can safely access and exit the site without reversing over long distances.</li> </ul> <p>3. Design Considerations</p> <ul style="list-style-type: none"> <li>• Waste Store Location: Stores will be located on the ground floor, with direct access to the street or service road.</li> <li>• Ventilation &amp; Hygiene: Stores will be ventilated and designed to prevent pest infestation and odour issues.</li> <li>• Signage: Clear signage for residents to encourage correct waste separation.</li> </ul> <p>4. Bulky Waste &amp; Clinical Waste</p> <ul style="list-style-type: none"> <li>• Bulky Waste: A designated area will be provided for temporary storage of bulky items awaiting collection.</li> <li>• Clinical Waste: Residents requiring clinical waste services will be supported via Haringey's existing collection arrangements.</li> </ul> <p>5. Recycling &amp; Sustainability</p> <ul style="list-style-type: none"> <li>• Education: Residents will be provided with welcome packs detailing waste and recycling procedures.</li> <li>• Sustainability: The strategy supports Haringey's climate action goals by promoting high recycling rates and reducing landfill dependency.</li> </ul> <p>Conclusion</p> <p>This waste strategy ensures that the proposed development at 289–295 High Road meets all operational and environmental requirements for waste management. It supports efficient collection, resident convenience, and long-term sustainability.</p> |   |
|                            | <b>EXTERNAL CONSULTATIONS</b>  |   |
| <b>Designing Out Crime</b> | <p>Section 1 - Introduction: With reference to the above application, we have had an opportunity to examine the details submitted and would like to offer the following comments, observations and recommendations. These are based on relevant information to this site (Please see Appendices), including my knowledge and experience as a Designing Out Crime Officer and as a Police Officer. It is in our professional opinion that crime prevention and community safety are material considerations because of the mixed use, complex design, layout and the sensitive location of the development. To ensure the delivery of a safer development in line with L.B. Haringey DMM4 and DMM5 (See Appendix), we have highlighted some of the main comments we have in relation to Crime Prevention (Appendices 1). At this stage we have not met with the original project Architects to discuss Crime Prevention and Secured by Design at pre-application stage to discuss our concerns regarding the design and layout of the development. There is no mention of crime prevention or Secured by Design in the Design and Access Statement referencing design out crime or crime prevention. We request that the developer contacts us at the earliest convenience to ensure that the development is designed to reduce crime at an early. At this point it can be difficult to design out fully any issues identified, at best crime can only be mitigated against, as it does not fully reduce the opportunity of offences. Whilst in principle we have no objections to the site, the venue is located in an area with high footfalls of traffic and a college nearby, resulting in higher levels of</p>   | <p>Conditions and Informatives attached. The applicant has attempted to make contact with the MPS and will continue to do so.</p> |

## Appendix 3: Internal and External consultation representations

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|                     | <p>crime and anti-social behavior. The comments made can easily be mitigated early if the Architects ensure the ongoing dialogue with our department continues throughout the design and build process. This can be achieved by the below Secured by Design conditions being applied (Section 2). If the Conditions are applied, we request the completion of the relevant SBD application forms at the earliest opportunity. The project has the potential to achieve a Secured by Design Accreditation if advice given is adhered to.</p> <p>Section 2 - Secured by Design Conditions and Informative: In light of the information provided, we request the following Conditions and Informative: Conditions:</p> <p>A. Prior to the commencement of above ground works of each building or part of a building, details shall be submitted to and approved, in writing, by the Local Planning Authority to demonstrate that such building or such part of a building can achieve 'Secured by Design' Accreditation. Accreditation must be achievable according to current and relevant Secured by Design guidelines at the time of above grade works of each building or phase of said development. The development shall only be carried out in accordance with the approved details.</p> <p>B. Prior to the first occupation of each building, or part of a building or its use, 'Secured by Design' certification shall be obtained for such building or part of such building or its use and thereafter all features are to be retained. Reason: In the interest of creating safer, sustainable communities.</p> <p>Informative: The applicant must seek the continual advice of the Metropolitan Police Service Designing Out Crime Officers (DOCOs) to achieve accreditation. The services of MPS DOCOs are available free of charge and can be contacted via docomailbox.ne@met.police.uk or 0208 217 3813.</p> <p>Section 3 - Conclusion:<br/>We would ask that our department's interest in this planning application is noted and that we are advised of the final Decision Notice, with attention drawn to any changes within the development and subsequent Condition that has been implemented with crime prevention, security and community safety in mind. Should the Planning Authority require clarification of any of the recommendations/comments given in the appendices please do not hesitate to contact us at the above office.</p> |  |
| <b>Thames Water</b> | <p>Waste Comments:<br/>Waste Comments: The proposed development is located within 15 metres of a strategic sewer. Thames Water requests the following condition to be added to any planning permission. "No piling shall take place until a PILING METHOD STATEMENT (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) and piling layout plan including all Thames Water wastewater assets, the local topography and clearance between the face of the pile to the face of a pipe has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement and piling layout plan. Reason: The proposed</p>   | Conditions /<br>informatives<br>attached |

## Appendix 3: Internal and External consultation representations

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|  | <p>works will be in close proximity to underground sewerage utility infrastructure. Piling has the potential to significantly impact / cause failure of local underground sewerage utility infrastructure. Please read our guide 'working near our assets' to ensure your workings will be in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures. <a href="https://www.thameswater.co.uk/developers/larger-scale-developments/planning-your-development/working-near-our-pipes">https://www.thameswater.co.uk/developers/larger-scale-developments/planning-your-development/working-near-our-pipes</a> Should you require further information please contact Thames Water. Email: <a href="mailto:developer.services@thameswater.co.uk">developer.services@thameswater.co.uk</a> Phone: 0800 009 3921 (Monday to Friday, 8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern Road, Reading, Berkshire RG1 8DB</p> <p>Public sewers are crossing or close to your development. Build over agreements are required for any building works within 3 metres of a public sewer and, or within 1 metre of a public lateral drain. This is to prevent damage to the sewer network and ensures we have suitable and safe access to carry out maintenance and repairs. Please refer to our guide on working near or diverting our pipes: <a href="https://www.thameswater.co.uk/developers/larger-scale-developments/planning-your-development/working-near-our-pipes">https://www.thameswater.co.uk/developers/larger-scale-developments/planning-your-development/working-near-our-pipes</a> Please ensure to apply to determine if a build over agreement will be granted.</p> <p>We would expect the developer to demonstrate what measures will be undertaken to minimise groundwater discharges into the public sewer. Groundwater discharges typically result from construction site dewatering, deep excavations, basement infiltration, borehole installation, testing and site remediation. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Should the Local Planning Authority be minded to approve the planning application, Thames Water would like the following informative attached to the planning permission: "A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing <a href="mailto:trade.effluent@thameswater.co.uk">trade.effluent@thameswater.co.uk</a> . Application forms should be completed on line via <a href="http://www.thameswater.co.uk">www.thameswater.co.uk</a>. Please refer to the Wholesale; Business customers; Groundwater discharges section.</p> <p>With regard to SURFACE WATER drainage, Thames Water would advise that if the developer follows the sequential approach to the disposal of surface water we would have no objection. Management of surface water from new developments should follow Policy SI 13 Sustainable drainage of the London Plan 2021. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Should you require further information please refer to our website. <a href="https://www.thameswater.co.uk/help/home-improvements/how-to-connect-to-a-sewer/sewer-connection-design">https://www.thameswater.co.uk/help/home-improvements/how-to-connect-to-a-sewer/sewer-connection-design</a></p> <p>Thames Water would advise that with regard to WASTE WATER NETWORK and SEWAGE TREATMENT WORKS infrastructure</p> |  |
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## Appendix 3: Internal and External consultation representations

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|  | <p>capacity, we would not have any objection to the above planning application, based on the information provided.</p> <p><b>Water Comments:</b><br/> Water Comments: If you are planning on using mains water for construction purposes, it's important you let Thames Water know before you start using it, to avoid potential fines for improper usage. More information and how to apply can be found online at <a href="http://thameswater.co.uk/buildingwater">thameswater.co.uk/buildingwater</a>.</p> <p>On the basis of information provided, Thames Water would advise that with regard to water network and water treatment infrastructure capacity, we would not have any objection to the above planning application. Thames Water recommends the following informative be attached to this planning permission. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.</p> <p><b>Supplementary Comments:</b></p> <p>Please submit a foundation/piling layout plan clearly indicating the locations of all foundation/piles to be installed on the development site. This plan should show the positions of the foundation/piles in relation to Thames Water clean water mains and sewers and local topography such as roads (please include road names), existing buildings and/or any other notable features. Thames Water require drawings indicating the location of all piling and the clearance between the face of the pile to the face of a pipe. If any basements intended to be constructed as part of the development, please clearly indicate the location and footprint. Without these drawings and cross-sectional details Thames Water will not be able to review your proposals and discharge your planning condition.</p> <p>The Developer is also requested to confirm whether they have been in touch with Thames Water to discuss or arrange for the abandonment of any existing assets beneath the development site. Please give a short summary of any correspondence to date and any references they have been provided.</p> <p><b>Additional Comments:</b><br/> Thames Water has reviewed this H4 consultation. Your client may require a build over agreement, as we believe the proposed development could be within 3 metres of a public sewer (of which, the internal diameter is less than or equal to 150mm). There are no mapped public sewers in the vicinity, however following the private sewer transfer in October 2011, it is likely that houses of this type and location will have unmapped public sewers within their boundary. We therefore strongly recommend your client employs a professional to conduct a survey within their property to ascertain if any shared pipework is present. If there is, then please do contact us again to discuss the next steps. For more information on locating sewers and drains, watch our video. Watch our guide to the Private Sewer Transfer – note this only applied to existing drains and sewers that existed and were operational in 2011, not any new sewers or drains built since that time. Please also advise your client, if applicable, that Thames Water do not permit driven piles within 15m of a public sewer. Our technical guidance can be found <a href="#">here</a>.</p> |  |
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Appendix 3: Internal and External consultation representations

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## Appendix 4: Quality Review Panel report 05 March 2025

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**London Borough of Haringey Quality Review Panel**

Report of Full Review Meeting: Wood Green Timber Yard

Wednesday 5 March 2025

Alexandra House, 10 Station Road, London N22 7TY

**Panel**

Andrew Beharrell (chair)

Phil Askew

Angie Jim Osman

Paddy Pugh

Craig Robertson

**Attendees**

|                  |                            |
|------------------|----------------------------|
| John McRory      | London Borough of Haringey |
| Ruth Mitchell    | London Borough of Haringey |
| Joshua O'Donnell | London Borough of Haringey |
| Biplav Pagéni    | London Borough of Haringey |
| Catherine Smyth  | London Borough of Haringey |
| Richard Truscott | London Borough of Haringey |
| Samuel Uff       | London Borough of Haringey |
| Kirsty McMullan  | Frame Projects             |
| Bonnie Russell   | Frame Projects             |

**Apologies / report copied to**

|                    |                            |
|--------------------|----------------------------|
| Suzanne Kimman     | London Borough of Haringey |
| Rob Krzyszowski    | London Borough of Haringey |
| Saloni Parekh      | London Borough of Haringey |
| Gareth Prosser     | London Borough of Haringey |
| Roland Sheldon     | London Borough of Haringey |
| Ashley Sin-Yung    | London Borough of Haringey |
| Tania Skelli       | London Borough of Haringey |
| Kevin Tohill       | London Borough of Haringey |
| Elisabetta Tonazzi | London Borough of Haringey |
| Bryce Tudball      | London Borough of Haringey |

Report of Full Review Meeting

5 March 2025

HQR146\_Wood Green Timber Yard

## Appendix 4: Quality Review Panel report 05 March 2025

**CONFIDENTIAL****Confidentiality**

This is a pre-application review, and therefore confidential. As a public organisation Haringey Council is subject to the Freedom of Information Act (FOI), and in the case of an FOI request may be obliged to release project information submitted for review.

**1. Project name and site address**

Wood Green Timber Yard, 289-295 High Road, London N22 8HU

**2. Presenting team**

|                    |                         |
|--------------------|-------------------------|
| Alan Peacock       | Stockwool Architects    |
| Ewout Vandeweghe   | Stockwool Architects    |
| Warren Standerwick | Standerwick Land Design |
| Frances Young      | SY2 Planning            |
| John Silvester     | Wood Green Timber Yard  |
| Tom Silvester      | Wood Green Timber Yard  |

**3. Planning authority briefing**

The 0.22 hectare site is currently in use as a timber merchant. Whether or not the loss of employment space would be acceptable needs to be justified by the applicants and agreed with the council. The site is not allocated, and is outside the designated town centre.

The site is bounded to the north by Morant Place, a staggered four-storey development, and to the south by the back gardens of two-storey houses on Trinity Road. The rear of the site is on Neville Place, which is an adopted highway and contains a row of two-storey employment buildings. The highway is currently used as a controlled parking zone. London Borough of Haringey Highways Department is unable to formally release the land in front of the Timber Yard for landscaping and amenity space.

The south of the site, up to the highway of Neville Place, is located within Trinity Gardens Conservation Area. The site adjoins the locally listed former public house (Fishmongers Arms), and there is a Grade II listed fountain in front of the pub. The Grade II listed Civic Centre and Trinity Academy primary school are also nearby.

A mixed-use development is proposed in two buildings, three to five storeys tall (plus a basement level) on the High Road frontage, and a three-storey mews building on Neville Place. This will provide 36 homes and 100 square metres of commercial use, alongside parking and landscaping.

Officers asked for the panel's comments on the quality of accommodation, relationship to neighbours, response to heritage, public realm and landscaping.



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### 4. Quality Review Panel's views

#### *Summary*

The Haringey Quality Review Panel welcomes the site layout, height and massing, and building typologies, which are well considered and respond appropriately to the historic setting. However, the conflicts between amenity, play, parking, and servicing on the ground plane are symptoms of the intensity of development, and need to be resolved. It may be necessary to alter the quantum of development to find the optimum that the site can support without compromising on quality.

The panel supports the relationship with the conservation area but asks that long views of the church spires are protected as the scheme develops. Significant further work is needed to ensure that the ground plane will deliver for the people who will live and work here, as well as for the wider community. An alternative solution should be found for the children's play space, which is next to refuse and parking, and likely to be overshadowed. Neville Place could be remodelled as a shared surface mews, the Blue Badge parking reduced and relocated, and the play space extended. The highway land and the land in front of the former Fishmongers Arms should make a significant contribution to the high street setting and public realm greening. The project team is encouraged to work with Haringey officers and neighbours to resolve the land ownership and use issues for public benefit.

The project team should consider replacing the proposed mews flats with a terrace of mews houses on Neville Place. This would resolve many of the design issues, and provide more suitable family housing than upper floor flats. The panel suggests carrying out a detailed review to check that all rooms are of an appropriate size and shape to be usable, and that entrances are welcoming. The panel suggests that a community use, in the proposed wing adjoining the former Fishmongers Arms, would be more successful than a commercial space. The success of the architecture will depend on the quality of the detailing and execution. A simple brick materials palette is recommended, with further articulation to create a distinctive external appearance, especially on the High Road elevations.

The panel suggests that the basement is removed to reduce embodied carbon and encourage residents to use the bicycle store. Further work is needed to improve the form factor and reduce heat loss. The windows should be sized in relation to noise, daylight, resident quality of life, and the wider context, as well as overheating.

#### *Site layout*

- The panel supports the site layout, which will help to repair the urban fabric. The two mansion blocks fronting onto the High Road and a mews terrace on Neville Place are an appropriate solution for the site, and could relate well to the existing context while also referring back to the historic building footprints.
- However, the ground plane is under significant pressure to meet the scheme's amenity, play, parking and servicing needs, and the highway land to the front of Block A shows amenity space that may not be deliverable. The panel is also





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concerned that the floor layouts will not have sufficient flexibility to accommodate any adjustments needed for Building Regulations compliance at the next stage of design development.

- The project team is asked to reconsider the intensity of the development and to find a level that will optimise the site's potential. It suggests that the scheme would be more successful if the quantum is slightly reduced.

*Response to heritage*

- The panel supports the relationship that the scheme establishes with Trinity Gardens Conservation Area. It thinks that the proposed footprint has been extended as far as it can be, but nevertheless forms a positive response to the heritage setting of the high street and the locally listed Fishmongers Arms.
- As the scheme is refined, the project team should ensure that long views of the nearby church spires and the cupola of Trinity Primary Academy school are not lost. These are an important characteristic of the conservation area.
- The panel is comfortable with the idea of moving the sign on the exterior of the Fishmongers Arms building so that it can be retained when this scheme abuts the flank wall, as long as it remains on the former pub building. Views should be tested to ensure the sign is clearly visible in its new location.

*Landscape*

- The conflicts between servicing, amenity and parking needs have led to a compromised set of conditions on the ground plane, particularly for the children's play space which is squeezed between the buildings, the refuse store and the Blue Badge parking bays. As well as requiring children to play next to refuse and vehicles, this leftover space is likely to be overshadowed. The panel asks for an alternative solution that will create a high-quality, green and sunny play space, with a place for parents to sit.
- The panel understands that curb-side parking has already been allocated, but strongly encourages the project team to explore (in collaboration with planning officers) whether Neville Place could be pedestrianised or shared surface. If the number of Blue Badge parking bays could be reduced to reflect the minimum provision, it may also be possible to relocate them to a more suitable kerbside location. This would allow the play space to extend to Neville Place, prioritising the quality of the outdoor environment for residents over vehicles.
- The ownership and legal use for the highway land to the front of Block A is not clear. This space could make a significant contribution to greening the high street, providing a suitable setting for the buildings, doorstep amenity, and green relief from the busy High Road. If the land in front of the Fishmongers Arms could also be released and integrated, it would deliver a continuous, green public realm. The project team, highways officers and landowners are



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encouraged to collaborate to resolve the current issues and transform the high street frontage.

- The panel recommends further work to ensure that the tree planting strategy can be delivered. The highway land is the only space on the site that would be sufficient for planting trees of stature, which will be important to provide shade and screening for residents.
- Neville Place mews is dominated by hard landscaping in the visualisations. The panel suggests finding ways to soften the threshold space in front of the homes so that it will feel safer, more human, and will allow residents the opportunity to take ownership of the space for gardening. This has been achieved in similarly constrained urban spaces in Amsterdam simply through greening and seating.
- A significant amount of space on the private terraces is consumed by the air source heat pumps. The panel advises reviewing whether this is the best location for them, and providing accurate figures for the amount of space remaining for resident amenity.

*Quality of accommodation*

- The panel is concerned about the strategy of splitting the mews houses along Neville Place into flats. Ten flats with the larger family homes on the upper floors is overly complex, and requires families to climb a staircase as soon as they arrive home, with inadequate space for arrival and storage at ground level.
- Seven houses could be cheaper to build, easier to market, and help the project team to provide affordable family homes. This solution would also mean that each house would deal with its own refuse, removing the need for the bin store at the end of the mews next to the children's play space. The panel thinks that this alternative solution is worth exploring for its multiple commercial, design and planning benefits.
- Further work is needed to check that all home layouts will work in terms of both functionality and welcome. Practicalities such as a space to store prams or shopping should be considered, particularly for the upper floor homes. The entrances would also be improved by adding a threshold space.
- The internal views are welcome, and help to convince the panel of the usability of the living rooms in some cases. However, many of the homes are tightly planned, with little flexibility.
- The external massing, angled in response to the context, has led to unusual room shapes inside many of the flats. The panel is concerned that these homes will be difficult to furnish. The flat in the southeastern corner of Block B is particularly challenging as the bathroom, bedroom and balcony doors all open onto the open plan kitchen-living room.



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- The panel suggests carrying out a detailed review of every home to check that all rooms are of an appropriate size and shape to be usable. It may be necessary to remove some habitable rooms, or for two smaller flats to be combined into one.

*Commercial space*

- The panel recognises the planning policy to retain employment uses on the site, but is concerned that the commercial space may not be attractive to a suitable tenant compatible with the residential setting, and could lie empty.
- If this could provide space for a community use, then the panel recommends relocating the space to the southern part of the ground floor of Block A. A generous community space here could benefit from light at both the front and back of the building, connecting the children's play space to the potential landscaped frontage on the high street, and creating a more sophisticated junction with the former Fishmongers Arms.

*Architecture*

- The proposed massing with angled corners could work well, but its success will depend on the quality of the execution and the panel has not yet seen enough details to comment. The panel advises further work to ensure that the buildings' complex stepping is well resolved. Details such as material junctions, rainwater pipes and soffits should also be considered, as these will make a significant difference to the quality of the completed buildings.
- The panel suggests using a simple materials palette to avoid complex detailing where possible. The change in material for the upper floors of the mews terrace may not be necessary.
- Brick works well as the primary material and the panel welcomes the articulation of the soldier course around the building parapets. However, the façades have a relatively austere appearance at present, particularly at ground floor level where the base of Blocks A and B should be more distinctive in response to the adjacent former Fishmongers Arms and the wider conservation area.
- The panel recommends further articulation of the front elevations of Blocks A and B to create buildings with appropriate stature and presence for the high street's historic setting. This could be achieved through increasing the floor to ceiling height of the ground floors, as well as through detailing and materials. The panel also recommends elaborating the entrances to create a sense of dignity and arrival.
- The proportions of the windows are small relative to the neighbouring existing buildings. If the overheating assessment results mean that they cannot be





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increased in size, then the panel recommends articulating the plane of brickwork surrounding the windows to better respond to the context.

- The panel discourages the use of screens on the mews windows fronting Neville Place. While resident privacy is important, curtains or blinds would achieve this with greater flexibility than fixed screens. The panel accepts that privacy at the rear of the mews is more sensitive because the existing back gardens have established privacy. However, the distance is sufficient to not require screens. The strategy of creating mews houses rather than stacked flats could also help to mitigate this, as the kitchens and living rooms could be rearranged to reduce overlooking.
- The balconies could be more elegant, with the corner posts made slimmer or eliminated. The panel also asks that the balustrade height and detailing are designed to consider privacy. This will reduce the likelihood of residents on the more exposed frontages erecting unsightly screens on their balconies.

*Sustainability*

- The proposed basement is an expensive and carbon intensive solution for bicycle storage and plant space. The panel asks for a whole life carbon assessment to be completed to inform the best possible solution.
- The panel suggests that having all bicycle storage on the ground floor will make access easier for residents, encouraging active and sustainable travel. Bicycle stores can also become a positive point of activation for the streetscape. There are precedents of bicycle stores with windows, rather than dead frontages, in Cambridge and Scandinavia that could be useful.
- The scheme's energy use intensity figures are unexpectedly high despite low U-values, which suggests that the proposed form factor could be causing heat loss. The panel advises further work to resolve and improve this. Passivhaus design should be considered.
- The panel understands that the building regulations on overheating have led to the proposed window opening sizes. However, these do not feel sufficiently generous for good resident quality of life, or to respond to the grandeur of the high street context. The window openings should be shaped in relation to noise and daylight assessments as well as overheating.
- The project team is encouraged to ensure that the sustainable drainage system, including permeable paving, are embedded in the landscape designs to improve the scheme's climate resilience.

*Next steps*

- The Haringey Quality Review Panel would welcome the opportunity to review Wood Green Timber Yard again at an Intermediate or Chair's Review.





**Appendix 5: Plans and Documents List**

| <b>APPENDIX 5</b>                           |  |              |
|---|--|--------------|
| <b>PLANS AND DOCUMENTS LIST</b>             |  |              |
| <b>Drawing number</b>                       | <b>Title</b>                                   | <b>Scale</b> |
| 3613-STO-ZZ-ZZ-PL-A-90001 01                | Site Location Plan as existing                 | 1:1250@A3    |
| 3613-STO-ZZ-ZZ-PL-A-90002 01                | Site Location Plan as proposed                 | 1:1250@A3    |
| 3613-STO-ZZ-ZZ-PL-A-90003 01                | Existing Site Survey Plan                      | 1:500@AA3    |
| 3613-STO-ZZ-ZZ-PL-A-90004 01                | Existing Site Survey Plan with demolition      | 1:500@A3     |
| 3613-STO-XX-XX-PL-A-20100 02                | Ground Floor Plan                              | 1:200@A1     |
| 3613-STO-ZZ-XX-PL-A-20101 02                | First Floor Plan                               | 1:200@A1     |
| 3613-STO-XX-XX-PL-A-20102 02                | Second Floor Plan                              | 1:200@A1     |
| 3613-STO-XX-XX-PL-A-20103 02                | Third Floor Plan                               | 1:200@A1     |
| 3613-STO-XX-XX-PL-A-20104 02                | Fourth Floor Plan                              | 1:200@A1     |
| 3613-STO-XX-XX-PL-A-20105 02                | Roof Plan                                      | 1:200@A3     |
| 3613-STO-XX-EX-PL-A-20000 02                | Context East and South Elevations as Proposed  | 1:500@A3     |
| 3613-STO-XX-EX-PL-A-20001 02                | Context North and South Elevations as Proposed | 1:500@A3     |
| 3613-STO-XX-EX-PL-A-20002 01                | Existing Context East and South Elevations     | 1:500@A3     |
| 3613-STO-XX-EX-PL-A-20003 01                | Existing Context North and South Elevations    | 1:500@A3     |
| 3613-STO-ZZ-XX-PL-A-20201 02                | Ground Floor Plan                              | 1:100@A0     |
| 3613-STO-XX-XX-PL-A-20202 02                | First Floor Plan                               | 1:100@A0     |
| 3613-STO-XX-XX-PL-A-20203 02                | Second Floor Plan                              | 1:100@A0     |
| 3613-STO-XX-XX-PL-A-20204 02                | Third Floor Plan                               | 1:100@A0     |
| 3613-STO-XX-XX-PL-A-20205 02                | Fourth Floor Plan                              | 1:100@A0     |
| 3613-STO-ZZ-XX-PL-A-20206 02                | Roof Plan                                      | 1:100@A0     |
| 3613-STO-A0-EX-PL-A-20301 02                | Proposed Elevations Block A                    | 1:100@A1     |
| 3613-STO-A0-EX-PL-A-20302 02                | Proposed Elevations Block B                    | 1:100@A1     |
| 3613-STO-A0-EX-PL-A-20303 02                | Proposed Elevations Block C                    | 1:100@A1     |
| 3613-STO-A0-EX-PL-A-20401 02                | Proposed Sections Block A and B                | 1:100@A1     |
| 3613-STO-A0-EX-PL-A-20402 02                | Proposed Sections Block C                      | 1:100@A1     |
| 3613-STO-ZZ-EX-PL-A-20501 02                | Block A Detailed Elevation and Section         | 1:50         |
| 3613-STO-ZZ-EX-PL-A-20502 02                | Block B Detailed Elevation and Section         | 1:50         |
| 3613-STO-ZZ-EX-PL-A-20503 02                | Block C Detailed Elevation and Section         | 1:50         |
| Accommodation Schedule Rev C dated 18.11.25 |  |              |

1. Planning Statement prepared by SY2 Planning;
2. Planning Statement Addendum prepared by SY2 Planning;
3. Design and Access Statement prepared by Stockwool;
4. Post Submission Design Response Rev B dated 10.11.25 prepared by Stockwool;
5. Heritage Statement prepared by Walsingham Planning;
6. Landscape Strategy including an Urban Greening Factor Assessment prepared by Standerwick Land Design;
7. Preliminary Ecological Assessment undertaken by Ecology and Land Management;
8. Bio diversity Net Gain metric calculations and a BNG report prepared by Ecology and Land Management;
9. Arboricultural Impact Assessment prepared by Sharon Hosegood Associates;
10. Transport Statement prepared by Caneparo Associates;
11. Delivery, Servicing and Waste Management Plan prepared by Caneparo Associates;
12. Travel Plan prepared by Caneparo Associates;
13. Parking Stress Survey (included in Transport Statement);
14. Outline Construction Logistics Plan prepared by Caneparo Associates;
15. Financial Viability Assessment by James Brown and Company;
16. Commercial Demand Report by Paul Simon Seaton;

**Appendix 5: Plans and Documents List**

17. Drainage Strategy Report prepared by Vertex;
18. Sustainability Statement prepared by BWB Consulting;
19. Energy Statement prepared by BWB Consulting;
20. Overheating Assessment prepared by BWB Consulting;
21. Utilities Statement prepared by BWB Consulting;
22. Noise Impact Assessment prepared by BWB Consulting;
23. Air Quality Assessment prepared by BWB Consulting;
24. Daylight/Sunlight and Overshadowing Assessment (Neighbouring Properties and Proposed Scheme) prepared by BWB Consulting;
25. Fire Statement prepared by mui studio;
26. Contaminated Land Assessment (desk top study) prepared by GEA; and
27. Statement of Community Involvement prepared by Thorncliffe.

**Appendix 6: Planning Sub Committee meeting 02 June 2025 - briefing minutes**

**APPENDIX 6**

**PLANNING SUB COMMITTEE MEETING 2<sup>ND</sup> JUNE 2025 - MINUTES**

**PRE-APPLICATION BRIEFINGS**

- The following items are pre-application presentations to the Planning Sub-Committee and discussion of proposals.
- Notwithstanding that this is a formal meeting of the Sub-Committee, no decision will be taken on the following items and any subsequent applications will be the subject of a report to a future meeting of the Sub-Committee in accordance with standard procedures.
- The provisions of the Localism Act 2011 specifically provide that a Councillor should not be regarded as having a closed mind simply because they previously did or said something that, directly or indirectly, indicated what view they might take in relation to any particular matter. Pre-application briefings provide the opportunity for Members to raise queries and identify any concerns about proposals.
- The Members' Code of Conduct and the Planning Protocol 2016 continue to apply for pre-application meeting proposals even though Members will not be exercising the statutory function of determining an application. Members should nevertheless ensure that they are not seen to pre-determine or close their mind to any such proposal otherwise they will be precluded from participating in determining the application or leave any decision in which they have subsequently participated open to challenge.

**Minutes:**

- The Chair referred to the note on pre-application briefings and this information was noted.
- PPA//2025/0006 Timber Yard, 289-295 High Road, Wood Green, London, N22 8HU
- Proposal: Redevelopment of the site for 36 x residential units within 2 x part three, four and five storey blocks and part two, part three storey mews buildings in conjunction with refuse and cycle stores, parking and re-landscaping.

**Minutes:**

- Samuel Uff introduced the report for redevelopment of the site for 36 x residential units within 2 x part three, four and five storey blocks and part two, part three storey mews buildings in conjunction with refuse and cycle stores, parking and re-landscaping. The following was noted in response to questions from the committee:
- 96% of the apartments would be dual or triple aspect with four of the homes being single aspect with an east aspect towards the High Road. All of the apartments would have their own private amenity in the form of balconies which would meet the London Plan standards.
- Affordable housing was not anticipated to be provided as it stands, given the viability of the scheme; this should be fully interrogated
- The design was a work in progress and the applicant would carry on improving this. The design would need to carefully respect the locally listed building at the former Fishmongers Arms to the south. The design officer thought it was a promising design with some elegant proportions to it. Including balconies had been challenging and officers had encouraged the applicants to move as many of the balconies as possible to the rear; but they also wanted to avoid them overlooking existing neighbours. It had a good internal courtyard but there was more work to be done sorting out exactly how those corner balconies would project.

**Appendix 6: Planning Sub Committee meeting 02 June 2025 - briefing minutes**

- The space to the front of the site is highway land, there was an assumption by the applicant that the area was within their site ownership.
- If there were to be any loss of employment land, then there would be a financial contribution sought through the obligations SPG. Officers have had discussions internally with colleagues and the applicant to see what the best possible use would be.
- One of the matters that QRP had commented on was the internal arrangements of the flats.
- It would be a car free development and residents would be restricted from having car parking permits. The applicant would provide car parking spaces for residents with disabilities on the site, accessible from the shared access road.
- It would be helpful to see samples of the brick proposed.



|  |  |  |  |
|--|--|--|--|
| <b>Report for:</b>                         | <b>Planning Sub Committee</b><br><b>Date: 08 December 2025</b> | <b>Item Number:</b>                      |  |
| <b>Title:</b>                              | <b>Update on major proposals</b>                               |  |  |
| <b>Report Authorised by:</b>               | <b>Rob Krzyszowski</b>   |  |  |
| <b>Lead Officer:</b>                       | <b>John McRory</b>   |  |  |
| <b>Ward(s) affected:</b><br><br><b>All</b> |  | <b>Report for Key/Non Key Decisions:</b> |  |

## **1. Describe the issue under consideration**

- 1.1 To advise the Planning Sub Committee on major proposals. These are divided into those cases that have been approved; those cases awaiting the issue of the decision notice following a committee resolution; applications that have been submitted and are awaiting determination; and proposals which are being discussed at the pre-application stage. Information on any current major planning appeals is also included.

## **2. Recommendations**

- 2.1 That the report be noted.

## **3. Background information**

- 3.1 Member engagement in the planning process is encouraged and supported by the National Planning Policy Framework 2024 (NPPF). Haringey achieves early member engagement at the pre-application stage through formal briefings on major schemes. The aim of the schedule attached to this report is to provide information on major proposals so that members are better informed and can seek further information regarding the proposed development as necessary.

## **4. Local Government (Access to Information) Act 1985**



- 4.1 Application details are available to view, print and download free of charge via the Haringey Council website: [www.haringey.gov.uk](http://www.haringey.gov.uk). From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility. Enter the application reference number or site address to retrieve the case details.



| Site   | Description  | Timescales/comments  | Case Officer   | Manager     |
|--|--|--|----------------|-------------|
| <b>APPLICATIONS DETERMINED AWAITING 106 TO BE SIGNED</b>   |  |  |                |             |
| <b>Warehouse Living proposal – 341A Seven Sisters Road / Eade Rd N15</b><br><br><b>HGY/2023/0728</b> | Construction of two new buildings to provide new warehouse living accommodation (Sui Generis (warehouse living)), ground floor café/ workspace (Use Class E) and associated waste collection and cycle parking. Erection of 10 stacked shipping containers (two storeys) to provide workspace/ artist studios (Use Class E), toilet facilities and associated waste collection and cycle parking. Landscape and public realm enhancements including the widening of and works to an existing alleyway that connects Seven Sisters and Tewkesbury Road, works to Tewkesbury Road, the creation of rain gardens, greening, seating, signage and artworks and all other associated infrastructure works, including the removal of an existing and the provision of a new substation to service the new development. | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing.       | Phil Elliott   | John McRory |
| <b>Capital City College Group, Tottenham Centre) N15</b><br><br><b>HGY/2024/0464</b>                 | New Construction and Engineering Centre, extending to 3,300 sq. m  | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>S106 agreed and awaiting return from the Applicant | Roland Sheldon | John McRory |

|   |   |  |                |              |
|---|---|--|----------------|--------------|
| <b>39, Queen Street,<br/>London, Tottenham,<br/>N17</b><br><br><b>HGY/2024/1203</b> | Redevelopment of Site for industrial and warehousing purposes (within Use Classes E(g)(ii), E(g)(iii), B2 and B8, with ancillary office accommodation together with access, service yard, car and cycle parking, landscaping, construction of a new substation, boundary treatments and other related works including demolition. | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing. | Sarah Madondo  | Tania Skelli |
| <b>157-159, Hornsey<br/>Park Road, London,<br/>N8</b><br><br><b>HGY/2024/0466</b>   | Demolition of existing structures and erection of two buildings to provide residential units and Class E floorspace; and provision of associated landscaping, a new pedestrian route, car and cycle parking, and refuse and recycling facilities.   | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing. | Valerie Okeiyi | John McRory  |
| <b>27-31 Garman Road,<br/>N17</b><br><br><b>HGY/2023/0894</b>                       | Erection of two replacement units designed to match the original units following fire damage and demolition of the original units   | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing. | Sarah Madondo  | Tania Skelli |
| <b>25-27 Clarendon<br/>Road, N8</b><br><br><b>HGY/2024/2279</b>                     | Demolition of existing buildings and delivery of a new co-living development and affordable workspace, alongside public realm improvements, soft and hard landscaping, cycle parking, servicing and delivery details and refuse and recycling provision.  | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing. | Valerie Okeiyi | John McRory  |
| <b>International House,<br/>Tariff Road,<br/>Tottenham, N17</b>                     | Demolition of the existing industrial buildings and the erection of a new four-storey building of Use Class B2 with ancillary offices and an  | Members resolved to grant planning permission subject to the signing of legal agreement.   | Eunice Huang   | Tania Skelli |

|  |   |  |                        |              |
|--|---|--|------------------------|--------------|
| <b>HGY/2024/1798</b>   | external scaffolding storage yard (Use Class B8) with associated parking and landscaping.   | Negotiations on legal agreement are ongoing.   |                        |              |
| <b>13 Bedford Road, N22</b><br><b>HGY/2023/2584</b>                    | Demolition of the existing building and the erection of a new mixed-use development up to five storeys high with commercial uses (Use Class E) at ground level, 12no. self-contained flats (Use Class C3) to upper levels and plant room at basement level. Provision of cycle parking, refuse, recycling and storage. Lift overrun, plant enclosure and pv panels at roof level. | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing. | Valerie Okeiyi         | John McRory  |
| <b>37-39 West Road, Tottenham, London, N17</b><br><b>HGY/2025/0617</b> | Demolition of all buildings and structures and the construction of single speculative building for flexible B2 general industrial, B8 storage and distribution, and E(g)(iii) light industrial uses with ancillary office, associated service yard, access point, car parking, and landscape planting.  | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing. | Sarah Madondo          | Tania Skelli |
| <b>Newstead, Denewood Road, N6</b><br><b>HGY/2024/2168</b>             | Erection of three buildings to provide 11 residential dwellings, amenity space, greening, cycle parking and associated works  | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing. | Roland Sheldon         | John McRory  |
| <b>312 High Road, Tottenham, N15</b><br><b>HGY/2024/3386</b>           | Refurbishment, conversion, and extension of the existing building, construction of two single storey buildings to the rear. Commercial use on part of the ground floor and self-contained   | Members resolved to grant planning permission subject to the signing of legal agreement.   | Kwaku Bossmann-Gyamera | Tania Skelli |

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|--|---|--|----------------|-----------------|
|  | residential uses on upper floors to provide short stay emergency accommodation.   | Negotiations on legal agreement are ongoing.   |                |                 |
| <b>505-511 Archway Road, Hornsey, N6</b><br><b>HGY/2025/1220</b>   | Redevelopment of existing car wash site to provide 16 new council homes comprising a 4-storey building fronting Archway Road and two 2-storey houses fronting Baker's Lane, with associated refuse/recycling stores, cycle stores, service space, amenity space and landscaping.          | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing. | Mark Chan      | Matthew Gunning |
| <b>Drapers Almshouses, Edmansons Close, Bruce Grove, N17</b><br><b>HGY/2022/4319 &amp; HGY/2022/4320</b> | Planning and listed building consent for the redevelopment of the site consisting of the amalgamation, extension and adaptation of the existing Almshouses to provide family dwellings; and creation of additional buildings on the site to provide of a mix of 1, 2 and 3 bedroom units. | Members resolved to grant planning permission subject to the signing of legal agreement.<br><br>Negotiations on legal agreement are ongoing. | Gareth Prosser | John McRory     |
| <b>APPLICATIONS SUBMITTED TO BE DECIDED</b>  |   |  |                |                 |
| <b>Timber merchants, 289-295 High Road, Wood Green, N22</b><br><b>HGY/2025/1769</b>                      | Demolition of the existing (B8) buildings and structures and erection of three residential (C3) buildings of three to five storeys comprising 36 new residential units, with landscaping including child play space, cycle parking, parking, removal of 8 trees and planting of 14 trees  | Application submitted and under assessment.<br><br>To be reported to Members of the Planning Sub Committee.                                  | Samuel Uff     | John McRory     |
| <b>Former Car Wash, Land on the East Side of Broad Lane, N15</b>   | Construction of a new office block, including covered bin and cycle stores.   | Application submitted and under assessment.  | Sarah Madondo  | Tania Skelli    |

|  |   |   |                       |              |
|--|---|---|-----------------------|--------------|
| <b>HGY/2023/0464</b>   |   |   |                       |              |
| <b>Rochford &amp; Martlesham, Broadwater Farm Estate, N17</b><br><br><b>HGY/2024/3522</b>  | Refurbishment of two residential blocks with 176 existing residential units in total across both blocks.  | Application submitted and under assessment.                                   | Roland Sheldon        | John McRory  |
| <b>15-19 Garman Road, Tottenham, N17</b><br><br><b>HGY/2024/3480</b>   | Outline planning permission for the demolition of the existing industrial buildings and redevelopment to provide a new building for manufacturing, warehouse or distribution with ancillary offices on ground, first and second floor frontage together with 10No. self-contained design studio offices on the 3rd floor. | Application submitted and under assessment.                                   | Kwaku Bossman-Gyamera | Tania Skelli |
| <b>44-48 Garman Road, Tottenham, N17</b><br><br><b>HGY/2025/1464</b>   | Change of use of an existing industrial unit including an external yard to a recycling facility and operating depot.  | Application submitted and under assessment.                                   | Kwaku Bossman-Gyamera | Tania Skelli |
| <b>Highgate School, North Road, N6</b><br><br><b>HGY/2023/0328</b><br><b>HGY/2023/0315</b><br><b>HGY/2023/0338</b><br><b>HGY/2023/0313</b><br><b>HGY/2023/0317</b> | 1.Dyne House & Island Site<br>2. Richards Music Centre (RMC)<br>3. Mallinson Sport Centre (MSC)<br>4. Science Block<br>5. Decant Facility   | Applications submitted and under assessment. Finished client led consultation | Samuel Uff            | John McRory  |

|   |   |  |                |             |
|---|---|--|----------------|-------------|
| <b>Berol Quarter,<br/>Ashley Road,<br/>Tottenham Hale, N17</b><br><br><b>HGY/2025/0930</b>                  | Section 73 application to alter drawings to show inward opening doors at the roof level of 2 Berol Yard and alter the permitted level of affordable housing.  | Application submitted and under assessment. Financial viability assessment has been independently assessed; but is also to be reviewed by the GLA. Negotiations ongoing. | Philip Elliott | John McRory |
| <b>Berol Yard, Ashley<br/>Road, N17</b><br><br><b>HGY/2023/0241</b>   | Section 73 application for minor material amendments  | Application submitted and under assessment. Linked to HGY/2023/0261 which has been granted. Discussions about a possible withdrawal ongoing.                             | Philip Elliott | John McRory |
| <b>The Goods Yard, 36<br/>and 44-52 White Hart<br/>Lane, Tottenham,<br/>N17</b><br><br><b>HGY/2025/1298</b> | Full planning application for the temporary change of use to provide car parking and construction compound, including associated works  | Application submitted and under assessment.  | Philip Elliott | John McRory |
| <b>THFC Stadium, N17</b><br><br><b>HGY/2025/1405</b>  | Plot 5 Reserved Matters for 'appearance' for the residential towers   | Application submitted and under assessment.  | Samuel Uff     | John McRory |
| <b>1-6 Crescent Mews,<br/>N22</b><br><br><b>HGY/2025/1712</b>   | Demolition of the existing buildings and redevelopment of the site to provide 37 residential units in four blocks (comprising a two 3 storey blocks fronting Crescent Mews, a 1 storey block adjacent to Dagmar Road and a 4 storey building to the rear of the site), including 4 accessible car parking spaces, associated landscaping and cycle parking, installation of vehicle and pedestrian access gates and associated works. | Application submitted and under consultation.  | Valerie Okeiyi | John McRory |

|   |   |                                      |                |                            |
|---|---|--------------------------------------|----------------|----------------------------|
|   |   |                                      |                |                            |
| <b>Mallard Place<br/>1 Mallard Place<br/>Wood Green N22<br/>HGY/2025/3217</b> | Demolition of existing buildings to deliver a new development comprising affordable housing (Use Class C3) and flexible workspace (Use Class E) alongside public realm improvements, soft and hard landscaping  | Application submitted                | Valerie Okeiyi | John McRory                |
| <b>2 To 240 Block,<br/>Tiverton Road, N15<br/>HGY/2025/3156</b>               | Development of the site to provide 17 new residential council homes arranged across two 4-storey blocks; together with associated communal amenity space, private outdoor space, landscaping, cycle parking, and refuse storage   | Application submitted                | Sarah Madondo  | Tania Skelli / John McRory |
| <b>IN PRE-APPLICATION DISCUSSIONS</b>   |   |                                      |                |                            |
| <b>Clarendon<br/>Square/Alexandra<br/>Gate Phase 5, N8</b>                    | Application for approval of reserved matters relating to appearance, landscaping, layout, scale, access, pertaining to Buildings <i>G1, G2, J1, J2 &amp; F1</i> forming Phase 5 of the Northern Quarter, including the construction of residential units (Use Class C3), commercial floorspace and associated landscaping pursuant to planning permission HGY/2017/3117 dated 19th April 2018 | Pre-app discussions ongoing.         | Valerie Okeiyi | John McRory                |
| <b>Lotus Site / former<br/>Jewson Site,<br/>Tottenham Lane, N8</b>            | Redevelopment of the site at 7-11 Tottenham Lane consisting of the re-provision of employment floorspace at ground floor level and the upwards development of the site to accommodate purpose built student accommodation.  | Pre-application discussions ongoing. | Valerie Okeiyi | John McRory                |

|   |   |   |                |                 |
|---|---|---|----------------|-----------------|
| <b>Land in Finsbury Park to the East of Lidl, 269-271 Seven Sisters Rd, N4</b>    | New 460 seat theatre and ancillary spaces with cross-funding residential development (potentially up to 15 storey high residential tower) on the edge, within the park itself, of Finsbury Park   | Initial pre-app meeting held. Formal written pre-app advice issued. | Samuel Uff     | John McRory     |
| <b>Reynardson Court, High Road, N17</b><br><br><b>Council Housing led project</b> | Refurbishment and /or redevelopment of site for residential led scheme – 18 units.  | Pre-application discussions taking place.                           | TBC            | Tania Skelli    |
| <b>50 Tottenham Lane, Hornsey, N8</b><br><br><b>Council Housing led project</b>   | Council House scheme  | Initial pre-app meeting held.                                       | Gareth Prosser | Matthew Gunning |
| <b>680-692 Seven Sisters Road, London, N15 5NF</b>                                | Redevelopment to provide mixed use commercial (854sqm GIA) and co-living (229 units/9,778sqm GIA) development (equates to 127 homes at a ratio of 1.8:1 as per London Plan)   | Initial pre-app meeting to take place early January 2026.           | Phil Elliott   | John McRory     |
| <b>Ashley House and Cannon Factory, Ashley Road, N17</b>                          | Part 9, 10, and 25 storey PBSA building with 581 rooms, part 7, part 8, and part 19 storey Co-Living building with 506 rooms, and a 6-storey block of 88 affordable homes with commercial/employment/community spaces and landscaping and new public realm. | Initial pre-application meeting took place late November 2025.      | Phil Elliott   | John McRory     |



|  |   |  |                 |             |
|--|---|--|-----------------|-------------|
| <b>Bernard Works</b>                               | Seeking to add phasing of development to planning approval HGY/2017/3584  | Will require NMA and DoV to S106.  | Samuel Uff      | John McRory |
| <b>YMCA, 184 Tottenham Lane, Hornsey, N8</b>       | Redevelopment of the site to provide approx. 170 bed spaces , configured into cluster flats and 'move-on' flats to meet an identified need, as well as communal spaces, support facilities and ground floor spaces for residents. | Pre-application meetings held in August and November - preapplication note has been issued. QRP in December. Ongoing PPA in place.   | Phil Elliott    | John McRory |
| <b>28-42 High Road, Wood Green, N22</b>            | Demolition of existing buildings for co-living accommodation (Sui Generis) led scheme of circa 400 units and 854 sqm of commercial (Use Class E) floorspace   | Meeting held April 2025. Extant permission HGY/2018/3145 was approved for circa 200 dwellings for wider site 22-42 High Road. Part of that site is CR2 safeguarded. This proposes alternative development on part of the site. | Samuel Uff      | John McRory |
| <b>Wood Green Central, N22</b>                     | Initial discussions for Station Road sites designated as SA8 of the Site Allocations Development Plan Document (DPD).   | Initial meeting held March 2025. Discussion of heights, uses, siting and relationship to adjacent site allocations.  | Samuel Uff      | John McRory |
| <b>Lynton Road, N8 (Part Site Allocation SA49)</b> | Demolition/Part Demolition of existing commercial buildings and mixed use redevelopment to provide 75 apartments and retained office space.   | Pre-app discussions ongoing.   | Gareth Prosser  | John McRory |
| <b>1 Farrer Mews, N8</b>                           | Proposed development to Farrer Mews to replace existing residential, garages & Car workshop into (9 houses & 6 flats).  | Discussions ongoing as part of PPA.  | Benjamin Coffie | John McRory |

| CURRENT APPEALS                    |             |                |              |         |
|------------------------------------|-------------|----------------|--------------|---------|
| Site                               | Description | Type of Appeal | Case Officer | Manager |
| No major appeals currently on hand |             |                |              |         |



|  |  |  |  |
|--|--|--|--|
| <b>Report for:</b>                         | <b>Planning Sub Committee</b><br><b>Date: 8<sup>th</sup> December 2025</b>         | <b>Item Number:</b>                      |  |
| <b>Title:</b>                              | <b>Applications decided under delegated powers between 01.10.2025 – 31.10.2025</b> |  |  |
| <b>Report Authorised by:</b>               | <b>Catherine Smyth</b>   |  |  |
| <b>Lead Officer:</b>                       | <b>Ahmet Altinsoy</b>  |  |  |
| <b>Ward(s) affected:</b><br><br><b>All</b> |  | <b>Report for Key/Non Key Decisions:</b> |  |

**1. Describe the issue under consideration**

- 1.1 To advise the Planning Sub Committee of applications decided under delegated powers from 01.10.2025 to 31.10.2025.

**2. Recommendations**

- 2.1 That the report be noted.

**3. Local Government (Access to Information) Act 1985**

- 3.1 Application details are available to view, print and download free of charge via the Haringey Council website: [www.haringey.gov.uk](http://www.haringey.gov.uk). From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility. Enter the application reference number or site address to retrieve the case details.

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| Wards          | Application Type                            | Planning Application: Planning Application Name | Current Decision        | Decision Notice Sent Date | Site Address   | Proposal   | Officer Name  |
|----------------|---|---|-------------------------|---------------------------|--|--|---------------|
| Alexandra Park | Householder planning permission             | HGY/2025/1484                                   | Approve with Conditions | 06/10/2025                | 18 Vallance Road, Hornsey, London, N22 7UB                   | Replacement of existing timber windows to front and side elevation with new windows to match the existing window design, transom and crenulation. Replacement of existing timber windows to rear elevation with new aluminium windows to match the existing window proportions. Repair existing roof replacing rotten roof timbers. Remedial works inc existing roof tiles to be re-fitted to front and side roof elevations. Installation of grey slate Nulok Solar tile system to the rear roof elevation. Erection of a rear/side lean-to extension off existing lean-to projection with a flat roof. Insertion of 1no. conservation style rooflight above the sloped roof above the side dormer. (AMENDED DESCRIPTION) | Daniel Boama  |
| Alexandra Park | Consent under Tree Preservation Orders      | HGY/2025/1679                                   | Approve with Conditions | 07/10/2025                | 67 Alexandra Park Road, Hornsey, London, N10 2DG             | Works to trees protected by a TPO. (T1) & (T2) - 2x Yews. Proposing to trim regrowth by approximately 0.5m in order to form more uniform shapes to prevent excessive shading and encroachment to building and prevent trees overhanging public footpath.   | Daniel Monk   |
| Alexandra Park | Householder planning permission             | HGY/2025/2046                                   | Approve with Conditions | 14/10/2025                | 59 Grasmere Road, Hornsey, London, N10 2DH                   | Creation of a rear lightwell and new basement level rear window and walk-on glass floor, replacement of existing ground floor rear doors with steel framed doors and new glazed roof to existing rear extension. (AMENDED DESCRIPTION)   | Mark Chan     |
| Alexandra Park | Approval of details reserved by a condition | HGY/2025/2187                                   | Approve                 | 06/10/2025                | Fiftyfour And A Half, Grove Avenue, Hornsey, London, N10 2AN | Approval of details pursuant to condition 6 (green roof) attached to planning permission HGY/2023/1502.  | Josh Parker   |
| Alexandra Park | Householder planning permission             | HGY/2025/2203                                   | Approve with Conditions | 06/10/2025                | First Floor Flat, 47 Muswell Road, Hornsey, London, N10 2BS  | Lowering of existing rear first floor terrace door threshold and installation of new outward-opening door  | Nathan Keyte  |
| Alexandra Park | Householder planning permission             | HGY/2025/2268                                   | Approve with Conditions | 16/10/2025                | 196 Victoria Road, Wood Green, London, N22 7XQ               | Loft conversion with erection of a rear dormer extension and insertion of 3no. rooflights on front roof slope. Construction of roof terrace with obscure glazed balustrade. Replacement of all existing uPVC windows with double glazed timber sash windows. Reinstatement of turret roof above the front bay window.  | Daniel Boama  |
| Alexandra Park | Householder planning permission             | HGY/2025/2289                                   | Approve with Conditions | 31/10/2025                | 81 Grove Avenue, Hornsey, London, N10 2AL                    | Proposed ground floor rear extension, loft dormer and outrigger extension (revised).   | Josh Parker   |
| Alexandra Park | Removal/variation of conditions             | HGY/2025/2327                                   | Approve with Conditions | 08/10/2025                | 10 Vallance Road, Hornsey, London, N22 7UB                   | Minor Material Amendment application under Section 73 of the Town and Country Planning Act for variation to conditions 2 and 6 attached to planning permission HGY/2024/1308 to provide for change to dormer cladding and design, and change to front gable window.  | Nathan Keyte  |
| Bounds Green   | Approval of details reserved by a condition | HGY/2025/1110                                   | Approve                 | 03/10/2025                | 44 Blake Road, Wood Green, London, N11 2AE                   | Approval of details reserved by a condition 4(Construction Management Plan), condition 11(Cycle Storage) and condition 12(Refuse Storage) attached to planning reference HGY/2022/0175   | Sarah Madondo |

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| Bounds Green | Householder planning permission             | HGY/2025/1808 | Approve with Conditions | 06/10/2025 | 85 Clarence Road, Wood Green, London, N22 8PG                  | Rear dormer loft conversion, 3no. conservation rooflights to the street elevation and solar panels to the outrigger roof.   | Eunice Huang     |
| Bounds Green | Non-Material Amendment                      | HGY/2025/2116 | Approve                 | 10/10/2025 | 25 Cornwall Avenue, Wood Green, London, N22 7DA                | Non-Material Amendment to the application HGY/2025/0964 for 'erection of a single-storey ground floor rear extension and replacement of an existing garden room' as approved on 22/05/2025 for the increase of depth of the approved rear extension by 0.5 metres and retention of the pre-existing outrigger.  | Adam Silverwood  |
| Bounds Green | Lawful development: Proposed use            | HGY/2025/2175 | Approve                 | 03/10/2025 | 60 Blake Road, Wood Green, London, N11 2AH                     | Certificate of lawfulness for hip-to-gable roof enlargement, formation of rear roof dormer extension with a Juliette balcony, installation of 2x front roof-lights and 1x obscured side flank window.   | Mercy Oruwari    |
| Bruce Castle | Approval of details reserved by a condition | HGY/2024/1550 | Approve                 | 31/10/2025 | 313 The Roundway, Tottenham, London, N17 7AB                   | Approval of details pursuant to Condition 23 (Residential Access Arrangements) attached to Planning Permission Ref: HGY/2022/0967 dated 15 September 2023.  | Adam Silverwood  |
| Bruce Castle | Variation of S106                           | HGY/2025/1554 | Approve                 | 31/10/2025 | ?The Printworks? 819-829 High Road, Tottenham, London, N17 8ER | Modifications to s106 agreement associated with planning permission HGY/2023/2306 under Section 106a (s106a) of the Town and Country Planning Act 1990 to alter the affordable housing and associated review obligations and alter the nominations agreement clause. The modifications would secure a financial contribution of £1.1million in place of the previously agreed 35% on site affordable student accommodation and early & development break viability reviews. | Philip Elliott   |
| Bruce Castle | Lawful development: Existing use            | HGY/2025/1644 | Refuse                  | 01/10/2025 | 669-673 High Road, Tottenham, London, N17 8AD                  | Certificate of lawfulness for the existing use of the second and third floors of the building (669-673 High Road) as eight separate self-contained flats.   | Neil McClellan   |
| Bruce Castle | Approval of details reserved by a condition | HGY/2025/1833 | Approve                 | 29/10/2025 | 807 High Road, Tottenham, London, N17 8ER                      | Approval of details reserved by Condition 31 (Demolition/Construction Environmental Management Plans (PRE-COMMENCEMENT)) attached to 807 High Road Planning Permission ref. HGY/2024/0692 dated 4 July 2025 [for PBSA and Class E].   | Philip Elliott   |
| Bruce Castle | Lawful development: Proposed use            | HGY/2025/2201 | Approve                 | 06/10/2025 | 64 Great Cambridge Road, Tottenham, London, N17 8LP            | Certificate of lawfulness for the erection of a single storey outbuilding in the rear garden to use as a gym and for storage - proposed use   | Mercy Oruwari    |
| Bruce Castle | Approval of details reserved by a condition | HGY/2025/2235 | Approve                 | 13/10/2025 | 639, High Road, Tottenham, London, N17 8AA                     | Details of the exact locations, extent and methods of all intrusive investigations as required by Condition 4 of listed building consent HGY/2025/0983 dated 17.07.25, for: Refurbishment and Demolition Asbestos survey  | Emily Whittredge |
| Bruce Castle | Approval of details reserved by a condition | HGY/2025/2288 | Approve                 | 09/10/2025 | 313, The Roundway, Tottenham, London, N17 7AB                  | Submission of details for the discharge of condition 12, Parts C and D only (Remediation Verification Report) for planning permission reference HGY/2022/0967   | Adam Silverwood  |

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| Bruce Castle | Full planning permission  | HGY/2025/2379 | Approve with Conditions | 29/10/2025 | Flat A, 78 Lordsmead Road, Tottenham, London, N17 6EY       | Reconfiguration of window and door openings to rear of property and replacement of windows to suit proposed internal alterations  | Josh Parker           |
| Bruce Castle | Approval of details reserved by a condition   | HGY/2025/2390 | Approve                 | 30/10/2025 | Land On The West Side Of 2, Kings Road, Tottenham, London   | Approval of details reserved by a condition 11 Part B (Energy and Sustainability Statement) attached to planning application Ref: HGY/2021/3038.  | Kwaku Bossman-Gyamera |
| Bruce Castle | Full planning permission  | HGY/2025/2457 | Approve with Conditions | 22/10/2025 | Antwerp Arms, 168 Church Road, Tottenham, London, N17 8AS   | Retrospective planning application for the installation of 10 solar panels on the flat roof of the single-storey rear extension. (AMENDED DESCRIPTION)  | Iliyan Topalov        |
| Bruce Castle | Approval of details reserved by a condition   | HGY/2025/2653 | Approve                 | 31/10/2025 | 313, The Roundway, Tottenham, London, N17 7AB               | Approval of details pursuant to condition 33 (Living Roofs - Partial - Part B Only) for the application HGY/2022/0967 for Demolition of existing buildings and erection of a three to five storey building with new Class E/F1 floorspace at ground floor and residential C3 units with landscaping and associated works as approved on 15/09/2023. | Adam Silverwood       |
| Crouch End   | Full planning permission  | HGY/2024/2939 | Approve with Conditions | 22/10/2025 | Flat A, 26 Avenue Road, Hornsey, London, N6 5DW             | Erection of a single storey rear extension with patio and steps.  | Sabelle Adjagboni     |
| Crouch End   | Full planning permission  | HGY/2025/1744 | Approve with Conditions | 24/10/2025 | First Floor Flat, 49 Landrock Road, Hornsey, London, N8 9HR | Loft conversion including a rear dormer extension and new front roof lights to the existing first floor flat.   | Neil McClellan        |
| Crouch End   | Prior approval Part 3 Class MA: Commercial, business and service uses to dwellinghouses | HGY/2025/1772 | Approve with Conditions | 03/10/2025 | 8 Middle Lane, Hornsey, London, N8 8PL                      | Prior approval is required for a proposed: Change of use from Commercial, Business and Service (Use Class E) to Dwellinghouses (Use Class C3) (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 3, Class MA.   | Josh Parker           |
| Crouch End   | Full planning permission  | HGY/2025/1951 | Approve with Conditions | 16/10/2025 | 21 Landrock Road, Hornsey, London, N8 9HR                   | To deconvert the property from two self-contained flats back into a single-family dwelling and associated external works.   | Josh Parker           |
| Crouch End   | Householder planning permission   | HGY/2025/1987 | Approve with Conditions | 15/10/2025 | Flat C, 17 Crouch Hall Road, Hornsey, London, N8 8HT        | Erection of new timber garden relaxation room (outbuilding) at the rear of the garden   | Mercy Oruwari         |
| Crouch End   | Full planning permission  | HGY/2025/2066 | Approve with Conditions | 28/10/2025 | Flat 7, 12 Christchurch Road, Hornsey, London, N8 9QL       | Erection of single storey garden room in rear garden  | Josh Parker           |
| Crouch End   | Consent under Tree Preservation Orders  | HGY/2025/2325 | Approve with Conditions | 07/10/2025 | 19 Cecile Park, Hornsey, London, N8 9AX                     | Works to tree protected by a TPO. Robinia (Acacia) - Crown reduce the low overhanging stem by 5.0m back to elbow/dog leg. Maintenance works in line with good arboricultural practice   | Daniel Monk           |
| Crouch End   | Full planning permission  | HGY/2025/2354 | Approve with Conditions | 31/10/2025 | 2 Haringey Park, Hornsey, London, N8 9JG                    | Deconversion of 4 x1 bedroom flats to a single family dwelling house with works to the front elevation  | Josh Parker           |

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| Crouch End   | Consent under Tree Preservation Orders      | HGY/2025/2414 | Approve with Conditions | 07/10/2025 | 145 Hornsey Lane, Hornsey, London, N6 5NH                  | Works to trees protected by a TPO. T2) Horse Chestnut: Reduce lowest limb over car parking bays by up to 2 metres; thin overall crown by 20% to provide dappled light (secondary regrowth, up to 50mm diameter only); remove any dead and defective branchwood. T3 & T4) 2 x Lime trees by front gate: Reduce height by up to 3 metres; reduce remaining crown by up to 1.5 metres to balance; remove any dead and defective branchwood. T5 & T6) 2 x Lime trees over Hornsey Lane and Crouch End Hill junction: Reduce lateral spread over road by up to 2.5 metres; remove any dead and dangerous branchwood. T7) Horse Chestnut over Crouch End Hill: Crown lift to 4 metres to provide clearance for high sided vehicles; Reduce lateral spread away from road by up to 2.5 metres. T8) Mature Oak by house: Overall crown reduction up to 2 metres, within previous, most recent reduction points; reduce away from house by up to 2.5 metres to provide clearance; remove any dead and defective branchwood. (Works to G1 Row of Leyland Cypress along Hornsey Lane will be considered separately under Section 211 Notice reference HGY/2025/2418, as these trees are not protected by a TPO but are located within a Conservation Area) | Daniel Monk  |
| Crouch End   | Consent to display an advertisement         | HGY/2025/2455 | Approve with Conditions | 28/10/2025 | Shop, 132 Crouch Hill, Hornsey, London, N8 9DX             | Consent to change shopfront signage   | Nathan Keyte |
| Crouch End   | Approval of details reserved by a condition | HGY/2025/2568 | Approve                 | 14/10/2025 | Ground Floor Flat, 35 Cecile Park, Hornsey, London, N8 9AX | Approval of details pursuant to condition 5 (replacement planting) attached to planning permission ref. HGY/2015/1846 for erection of a garden house in the rear garden granted on 19/08/2015.  | Nathan Keyte |
| Crouch End   | Consent under Tree Preservation Orders      | HGY/2025/2642 | Approve with Conditions | 27/10/2025 | 25 Stanhope Road, Hornsey, London, N6 5AW                  | Works to tree protected by a TPO. T6-Lime tree on left - crown reduction of approximately 3m on all aspects of tree. (All other works will be considered under Section 211 Notice reference HGY/2025/2648, as the other trees are not protected by a TPO but are located within a Conservation Area)  | Daniel Monk  |
| Crouch End   | Non-Material Amendment                      | HGY/2025/2663 | Refuse                  | 29/10/2025 | 62 Wolseley Road, Hornsey, London, N8 8RP                  | Non-Material Amendment to omit approved pool and replace with a terrace along with a basement extension in association with planning permission ref: HGY/2023/0273  | Josh Parker  |
| Crouch End   | Non-Material Amendment                      | HGY/2025/2712 | Approve                 | 08/10/2025 | Flat C, 71 Ferme Park Road, Hornsey, London, N8 9SA        | Non-material amendment to planning permission HGY/2025/0356 to add no.1 rooflight to the front roof slope.  | Nathan Keyte |
| Fortis Green | Full planning permission                    | HGY/2025/0610 | Approve with Conditions | 06/10/2025 | 490 Archway Road, Hornsey, London, N6 4NA                  | Erection of a lower-ground floor wraparound extension, erection of a side dormer extension, and the conversion from a single dwelling house into two self-contained flats (1 x 3-bedroom and 1 x 1-bedroom) with associated bin storage and cycle parking.  | Daniel Boama |



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| Fortis Green | Householder planning permission             | HGY/2025/1761 | Approve with Conditions | 13/10/2025 | 74 Windermere Road, Hornsey, London, N10 2RG   | Erection of a part gable end and rear dormer roof extension, installation of two rooflights to the front roof slope window to the gable end   | Josh Parker     |
| Fortis Green | Householder planning permission             | HGY/2025/1778 | Approve with Conditions | 09/10/2025 | 40 Leaside Avenue, Hornsey, London, N10 3BU  | Proposed rear dormer extension  | Ben Coffie      |
| Fortis Green | Consent under Tree Preservation Orders      | HGY/2025/1915 | Approve with Conditions | 27/10/2025 | Lynton Grange, Fortis Green, Hornsey, London, N2 9EU                                   | Works to trees protected by TPOs. T3 Lime (Tilia x europea) - Remove major deadwood over 40mm diameter and/or over 1m length. Reduce crown back to most recent reduction points by removing approx 2.5m regrowth. Remove dead ivy from main stems where possible. T13 Holm Oak (Quercus ilex) - Pollard at around 1.5m to reduce target area while retaining habitat feature within hedge. (The works proposed for T6 Lime, T7 Lime and T21 Hawthorn, will be considered separately under Section 211 Notice ref. HGY/2025/1917, as the subject trees are located in a Conservation Area but not protected by TPOs) | Daniel Monk     |
| Fortis Green | Approval of details reserved by a condition | HGY/2025/2035 | Refuse                  | 10/10/2025 | Lynton Grange, Fortis Green, Hornsey, London, N2 9EU                                   | Details pursuant to conditions 3 (materials and design detailing) of planning permission HGY/2022/4411 for Demolition of 20 x existing garages on-site and erection of 5 x two-storey residential units with associated landscaping, parking, refuse and cycle storage.   | Roland Sheldon  |
| Fortis Green | Householder planning permission             | HGY/2025/2057 | Approve with Conditions | 22/10/2025 | 8 Western Road, Hornsey, London, N2 9HX  | Removal of existing dormers and replace with larger dormers, as well as other internal loft amendments.   | Eunice Huang    |
| Fortis Green | Householder planning permission             | HGY/2025/2093 | Approve with Conditions | 27/10/2025 | 61 Greenham Road, Hornsey, London, N10 1LN   | Erection of hip to gable and rear dormer roof extension, installation of 2 front rooflights, increased depth of existing raised rear patio with associated safety railings.   | Roland Sheldon  |
| Fortis Green | Full planning permission                    | HGY/2025/2182 | Approve with Conditions | 29/10/2025 | St James's Church Of England Primary School, Woodside Avenue, Hornsey, London, N10 3JA | Retention of existing modular classroom for use as a day nursery & specialist teaching room.  | Eunice Huang    |
| Fortis Green | Householder planning permission             | HGY/2025/2306 | Approve with Conditions | 22/10/2025 | 18 Southern Road, Hornsey, London, N2 9LE  | Replacement of all existing single-glazed sash windows with new double-glazed sash windows; addition of greenhouse at the rear of the garden.   | Oskar Gregersen |
| Fortis Green | Lawful development: Proposed use            | HGY/2025/2328 | Permitted Development   | 23/10/2025 | 17 Barrenger Road, Hornsey, London, N10 1HU  | Certificate of Lawfulness for the proposed erection of dormer on the rear roof slope and the installation of two front rooflights.  | Ben Coffie      |
| Fortis Green | Lawful development: Proposed use            | HGY/2025/2447 | Permitted Development   | 14/10/2025 | 42 Springcroft Avenue, Hornsey, London, N2 9JE   | Lawful development (Proposed development): Rear roofslope dormer formation and roof lights to front roofslope   | Adam Silverwood |
| Fortis Green | Consent under Tree Preservation Orders      | HGY/2025/2463 | Approve with Conditions | 07/10/2025 | 39A Lanchester Road, Hornsey, London, N6 4SX   | Works to tree protected by a TPO. T1 - Hornbeam tree (14m) - reduce crown to previous pruning points, approximately 3m reduction.   | Daniel Monk     |

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| Fortis Green | Prior approval Part 1 Class A.1(ea): Larger home extension | HGY/2025/2529 | Refuse                  | 30/10/2025 | 25 Sussex Gardens, Hornsey, London, N6 4LY                                | Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 4m and for which the height of the eaves would be 3m  | Daniel Boama      |
| Fortis Green | Lawful development: Proposed use                           | HGY/2025/2691 | Permitted Development   | 15/10/2025 | 40 Beech Drive, Hornsey, London, N2 9NY                                   | Lawful development: Alteration to windows and doors, garden storage, solar panels, replacement of existing front gate and air source heat pump to existing semi-detached house  | Ben Coffie        |
| Fortis Green | Approval of details reserved by a condition                | HGY/2025/2755 | Approve                 | 20/10/2025 | Lynton Grange, Fortis Green, Hornsey, London, N2 9EU                      | Details pursuant to condition12 (water butt) of planning permission HGY/2022/4411 for Demolition of 20 x existing garages on-site and erection of 5 x two-storey residential units with associated landscaping, parking, refuse and cycle storage.  | Roland Sheldon    |
| Fortis Green | Consent under Tree Preservation Orders                     | HGY/2025/2766 | No Objection            | 28/10/2025 | 56 Twyford Avenue, Hornsey, London, N2 9NL                                | Five Day Notice. We have an Oak tree at 56 Twyford Avenue, N2 9NL, which has a TPO. It has several branches which need to be removed/made safe due to crossing, fused and split sections and dead wood. I've attached some photos for consideration. I've also attached a photo of the neighbours tree showing mass die-back and carrying dead wood which is number 58. | Daniel Monk       |
| Harringay    | Full planning permission                                   | HGY/2025/1939 | Refuse                  | 23/10/2025 | Roj Cafe, Ducketts Common, Green Lanes, London, N8 0EP                    | 2.7 Meter extension to the side elevation for storage at Roj cafe.  | Josh Parker       |
| Harringay    | Change of use  | HGY/2025/2002 | Refuse                  | 22/10/2025 | 2A Umfreville Road, Hornsey, London, N4 1SB                               | Change of use from C3 (single dwellinghouse) to C2 (Residential institutions) Children's care home.   | Nathan Keyte      |
| Harringay    | Change of use  | HGY/2025/2003 | Refuse                  | 22/10/2025 | 2B Umfreville Road, Hornsey, London, N4 1SB                               | Change of use from C3 (single dwellinghouse) to C2 (Residential institutions) Children's care home.   | Nathan Keyte      |
| Harringay    | Consent under Tree Preservation Orders                     | HGY/2025/2052 | Approve with Conditions | 27/10/2025 | 34 Seymour Road, Hornsey, London, N8 0BE                                  | Works to tree protected by a TPO. Rear garden: horse chestnut (T1) - remove low pendulous twiggy growth, raising the crown to 5m. Reduce branches overhanging gardens 37-41 by up to 3m, pruning back to suitable growth points as per bs3998. Reasons for work are to let more light into all the adjacent gardens.  | Daniel Monk       |
| Harringay    | Householder planning permission                            | HGY/2025/2079 | Approve with Conditions | 07/10/2025 | 68 Lausanne Road, Hornsey, London, N8 0HP                                 | Erection of ground floor single storey side infill extension  | Ben Coffie        |
| Harringay    | Full planning permission                                   | HGY/2025/2272 | Approve with Conditions | 31/10/2025 | 243 Wightman Road, Hornsey, London, N8 0BA                                | Erection of a single storey rear extension and associated conversion of ground floor 1-bed (1 person) flat into 3-bed (4-person) flat.  | Sabelle Adjagboni |
| Harringay    | Full planning permission                                   | HGY/2025/2365 | Refuse                  | 28/10/2025 | Pavement on Wellington Terrace, Near Green Lanes Junction, London, N8 0PX | Installation of BT street hub 3 and associated display of advertisement to both sides of the unit.  | Oskar Gregersen   |
| Harringay    | Full planning permission                                   | HGY/2025/2369 | Refuse                  | 28/10/2025 | Wightman Road, Outside No. 280, London, N8 0EX                            | Deployment of a Street Hub 3 unit   | Ben Coffie        |
| Harringay    | Lawful development: Existing use                           | HGY/2025/2376 | Approve                 | 06/10/2025 | 22 Willoughby Road, Hornsey, London, N8 0JE                               | Lawful Development Certificate: Existing use of the property as two separate self-contained flats (Ground Floor Flat & First Floor Flat)  | Iliyan Topalov    |
| Harringay    | Lawful development: Proposed use                           | HGY/2025/2388 | Permitted Development   | 29/10/2025 | 2 Hewitt Road, Hornsey, London, N8 0BL                                    | Certificate of lawfulness: proposed dormer extension to main roof and outrigger roof.   | Eunice Huang      |

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| Harringay           | Consent to display an advertisement                        | HGY/2025/2426 | Refuse                  | 28/10/2025 | Pavement on Wellington Terrace, Near Green Lanes Junction, London, N8 0PX  | Advertisement Consent to display digital advertisements via 2no. digital display screens incorporated in street hub unit  | Oskar Gregersen       |
| Harringay           | Consent to display an advertisement                        | HGY/2025/2445 | Refuse                  | 28/10/2025 | Outside No. 280, Wightman Road, London, N8 0EX                             | Display digital advertisement via two digital display screens incorporated within a Street Hub unit.  | Ben Coffie            |
| Harringay           | Householder planning permission                            | HGY/2025/2485 | Approve with Conditions | 30/10/2025 | Flat A, 10 Willoughby Road, Hornsey, London, N8 0HR                        | Erection of a single-storey rear garden outbuilding.  | Nathan Keyte          |
| Harringay           | Full planning permission                                   | HGY/2025/2679 | Approve with Conditions | 31/10/2025 | First Floor Flat, 40 Raleigh Road, Hornsey, London, N8 0HY                 | Formation of rear dormer extension and insertion of 2 front roof lights.  | Iliyan Topalov        |
| Harringay           | Prior approval Part 1 Class A.1(ea): Larger home extension | HGY/2025/2680 | Not Required            | 29/10/2025 | 26 Lausanne Road, Hornsey, London, N8 0HN                                  | Erection of single storey extension which extends beyond the rear wall of the original house by 5.5m for which the maximum height would be 3.3m and for which the height of the eaves would be 3m.  | Oskar Gregersen       |
| Harringay           | Lawful development: Existing use                           | HGY/2025/2859 | Approve                 | 27/10/2025 | 341 Green Lanes, Hornsey, London, N4 1DZ                                   | Lawful Development Certificate: Existing use of Rear Ground Floor as a self-contained studio flat.  | Iliyan Topalov        |
| Hermitage & Gardens | Approval of details reserved by a condition                | HGY/2025/1263 | Approve                 | 07/10/2025 | 108 Vale Road, London, N4 1TD  | Approval of details reserved by a condition 6 (Pedestrian and vehicle gates) attached to planning reference HGY/2022/0044   | Sarah Madondo         |
| Hermitage & Gardens | Approval of details reserved by a condition                | HGY/2025/1311 | Approve                 | 08/10/2025 | 108 Vale Road, London N4 1TD   | Approval of details reserved by a condition 20 (Parking Management Plan) attached to planning reference HGY/2022/0044   | Sarah Madondo         |
| Hermitage & Gardens | Consent to display an advertisement                        | HGY/2025/1952 | Approve with Conditions | 23/10/2025 | MacDonald's Drive-Thru, Green Lanes, Hornsey, London, N4 1DR.              | Advertisement consent to display a new non-illuminated freestanding banner sign on grass verge fronting Williamson Road.  | Neil McClellan        |
| Hermitage & Gardens | Full planning permission                                   | HGY/2025/2075 | Approve with Conditions | 01/10/2025 | 1B Vale Road, Tottenham, London, N4 1QA                                    | Demolition of single-storey bungalow. Erection of two-storey, two-bedroom dwelling with lower ground level including outdoor amenity space.   | Oskar Gregersen       |
| Hermitage & Gardens | Lawful development: Existing use                           | HGY/2025/2188 | Refuse                  | 06/10/2025 | 4 Salisbury Road, Tottenham, London, N4 1JZ                                | Lawful development: Existing use for the conversion of the property from dwellinghouse into 7 self contained flats  | Oskar Gregersen       |
| Hermitage & Gardens | Householder planning permission                            | HGY/2025/2436 | Approve with Conditions | 14/10/2025 | 31-38 Malden Court, 15 Finsbury Park Avenue, Tottenham, London, N4 1UH     | Existing white timber casement windows to be replaced with new white UPVC double glazed casement windows.   | Nathan Keyte          |
| Hermitage & Gardens | Lawful development: Proposed use                           | HGY/2025/2662 | Approve                 | 14/10/2025 | Unit M, Arena Business Centre, 71 Ashfield Road, Tottenham, London, N4 1FF | Certificate of lawfulness to confirm that the works (installation of metal balustrade) as part of application reference HGY/2022/0211 (as amended by approved NMA reference HGY/2025/1295) have been lawfully implemented within the time limit set down by Condition number 1 (22/08/2025) and therefore the completion of the balance of the approved development would be lawful.  | Philip Elliott        |
| Hermitage & Gardens | Prior notification: Development by telecoms operators      | HGY/2025/2814 | Permitted Development   | 14/10/2025 | 67-109 Warwick Gardens, Tottenham, London, N4 1JD                          | Formal notification in writing of 28 days notice in advance, in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 (as amended). Description of Development: The installation of assorted steelwork to accommodate 6no. antenna apertures and 4no. 600mm diameter transmission dishes along with 4no. equipment cabinets at roof level. Ancillary development will also be undertaken. | Kwaku Bossman-Gyamera |

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| Highgate | Listed building consent (Alt/Ext)           | HGY/2024/2339 | Approve with Conditions | 14/10/2025 | 37 North Road, Hornsey, London, N6 4BE                | Investigatory and remedial works to address dry rot, wet rot and damp; remedial works to chimneystack, external party wall, roof coverings and rainwater disposal, front elevation masonry, rear elevation render and structural timbers (roof structure, floor structure and lintels) (amended description)   | Nathan Keyte          |
| Highgate | Householder planning permission             | HGY/2024/2437 | Approve with Conditions | 14/10/2025 | 37 North Road, Hornsey, London, N6 4BE                | Investigatory and remedial works to address dry rot, wet rot and damp; remedial works to chimneystack, external party wall, roof coverings and rainwater disposal, front elevation masonry, rear elevation render and structural timbers (roof structure, floor structure and lintels) (there is an associated listed building consent application ref: HGY/2024/2339).  | Nathan Keyte          |
| Highgate | Full planning permission                    | HGY/2025/0804 | Refuse                  | 06/10/2025 | Flat A, 28 Shepherds Hill, Hornsey, London, N6 5AH    | Proposed demolition of existing vacant two x 1-bed flats, erection of two-storey (with basement level) townhouse, with associated front and rear lightwell.  | Roland Sheldon        |
| Highgate | Approval of details reserved by a condition | HGY/2025/0890 | Approve                 | 20/10/2025 | 14 Southwood Avenue, Hornsey, London, N6 5RZ          | Approval of details pursuant to condition 7 (construction management plan) attached to planning permission ref: HGY/2024/3411 granted on 17/03/2025 for the enlargement of cellar to create a basement level, with front lightwell, single storey ground floor rear/side extension, construction of new glazed gable at second floor level; replacement single glazed timber windows for double glazed timber windows and new rear juliette balcony at second floor.   | Ben Coffie            |
| Highgate | Approval of details reserved by a condition | HGY/2025/0968 | Approve                 | 17/10/2025 | 26 Sheldon Avenue, Hornsey, London, N6 4JT            | Approval of details reserved by a condition 10 (A) (Energy Strategy) attached to planning application Ref: HGY/2023/0630.  | Kwaku Bossman-Gyamara |
| Highgate | Approval of details reserved by a condition | HGY/2025/0998 | Approve                 | 06/10/2025 | Ivy House, 128 Highgate Hill, Hornsey, London, N6 5HD | Partial approval of details pursuant to part of condition 3 (details of replacement brick and pointing mortar - east elevation only) of planning permission HGY/2024/1983 for "Repair cracks to garden walls (caused by growth of magnolia tree)".   | Roland Sheldon        |
| Highgate | Listed building consent (Alt/Ext)           | HGY/2025/1193 | Approve with Conditions | 28/10/2025 | 42 High Point 1, North Hill, Hornsey, London, N6 4BA  | Listed building consent for proposed alterations to existing bathroom. Demolition of existing bathroom finishes (not original) and replacement with new modern finishes that reinstate the original features where possible and apply key design aspects of the building interiors including: - Maintain the original layout of fittings/sanitaryware. - Reinstate the vanity wall niche to match the original. - Reinstate the glass panel in the bathroom door. - Reinstate 100x100 wall and bath panel tiling to the original datum level. - Reinstate 100x100 floor tiling. - Reinstate the hot water towel rail. The proposed design will replicate as closely as possible the original Lubetkin bathroom design. | Daniel Boama          |

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| Highgate | Consent to display an advertisement         | HGY/2025/1198 | Approve with Conditions | 01/10/2025 | The Bull, 13 North Hill, Hornsey, London, N6 4AB                     | Display of 1no. externally illuminated freestanding pictorial sign, 1no. externally illuminated hand painted sign, 1no. internally illuminated menu case, 1no. small lantern, and 2no. cowl lights.   | Mark Chan       |
| Highgate | Listed building consent (Alt/Ext)           | HGY/2025/1200 | Approve with Conditions | 01/10/2025 | The Bull, 13 North Hill, Hornsey, London, N6 4AB                     | Listed building consent for installation of signs including 1no. externally illuminated freestanding pole-mounted pictorial sign, 1no. externally illuminated hand painted sign, 1no. internally illuminated menu case, 1no. small lantern, 2no. cowl lights and repainting of the exterior.  | Mark Chan       |
| Highgate | Approval of details reserved by a condition | HGY/2025/1569 | Approve                 | 10/10/2025 | 44-46, Hampstead Lane, London, N6 4LL                                | Partial approval of details reserved by part (a) of condition 25 (BREEAM Sustainability Assessment) of planning permission HGY/2022/2731 for demolition of the existing dwellings and erection of new care home (Use Class C2)  | Samuel Uff      |
| Highgate | Approval of details reserved by a condition | HGY/2025/1567 | Approve                 | 10/10/2025 | 44-46, Hampstead Lane, London, N6 4LL                                | Partial approval of details reserved by condition 11 parts a, b, c and d only (Site Contamination) of planning permission HGY/2022/2731 for demolition of the existing dwellings and erection of new care home (Use Class C2)   | Samuel Uff      |
| Highgate | Approval of details reserved by a condition | HGY/2025/1697 | Approve                 | 08/10/2025 | 28 Stormont Road, Hornsey, London, N6 4NP                            | Approval of details pursuant to conditions 3 (Materials), 4 (Method of Construction Statement), 5 (Chartered Engineer) and 8 (Green Roof) attached to planning permission HGY/2025/2815.  | Eunice Huang    |
| Highgate | Consent under Tree Preservation Orders      | HGY/2025/2060 | Approve with Conditions | 06/10/2025 | 20C Broadlands Road, Hornsey, London, N6 4AN                         | Works to trees protected by a TPO T1 + T2 - Lime trees (17m)- reduce crowns back to previous pruning points (up to 2.5m reduction) and remove epicormic growths. (Works to T3 - Cypress tree will be considered separately under Notice reference HGY/2025/2065, as this tree is in a Conservation Area but not protected by a TPO) | Daniel Monk     |
| Highgate | Approval of details reserved by a condition | HGY/2025/2141 | Approve                 | 29/10/2025 | 26 Hornsey Lane Gardens, Hornsey, London, N6 5PB                     | Approval of details pursuant to condition 3 (Materials) attached to planning permission ref: HGY/2025/0183.   | Mark Chan       |
| Highgate | Householder planning permission             | HGY/2025/2156 | Approve with Conditions | 21/10/2025 | Guildens Development Site, Courtenay Avenue, Hornsey, London, N6 4LP | Proposed creation of a swimming pool with associated steps up to garden level.  | Roland Sheldon  |
| Highgate | Householder planning permission             | HGY/2025/2177 | Refuse                  | 07/10/2025 | 4 Sheldon Avenue, Hornsey, London, N6 4JT                            | Replacement of existing garage door with windows and brickwork, installation of front and rear roof lights to garage roof and raising the roof height of the garage by 0.97m. Installation of doors and steps to the rear elevation of garage.  | Mark Chan       |
| Highgate | Non-Material Amendment                      | HGY/2025/2208 | Approve                 | 02/10/2025 | 32 Holmesdale Road, Hornsey, London, N6 5TQ                          | Non-material amendment to planning application ref: HGY/2024/2645 (as amended by NMA ref: HGY/2025/0630) to install a rear rooflight and change the species of the approved replacement tree from Cherry Tree to Silver Birch.  | Mark Chan       |
| Highgate | Approval of details reserved by a condition | HGY/2025/2228 | Approve                 | 22/10/2025 | 222 Archway Road, Hornsey, London, N6 5AX                            | Approval of details pursuant to condition 4 (Remedial Strategy and Verification Plan) attached to approved permission HGY/2023/1851 for 'Change of use of the basement and ground floors levels from offices (Use Class E) to residential (Use Class C3) with associated external works.'   | Oskar Gregersen |

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| Highgate | Full planning permission                    | HGY/2025/2231 | Approve with Conditions | 28/10/2025 | 106 Highgate Hill, Hornsey, London, N6 SHE       | Removal of existing boiler and flue, and installation of new boiler in basement and larger flue on the rear elevation of the building.  | Eunice Huang   |
| Highgate | Householder planning permission             | HGY/2025/2251 | Approve with Conditions | 29/10/2025 | 20 Priory Gardens, Hornsey, London, N6 5QS       | Installation of rendered external insulation (up to 150mm) to existing rear facade of property.   | Nathan Keyte   |
| Highgate | Approval of details reserved by a condition | HGY/2025/2258 | Approve                 | 10/10/2025 | 37 Stormont Road, Hornsey, London, N6 4NR        | Approval of details pursuant to condition 4 (Details of swimming pool plant) of planning permission reference HGY/2023/2248 dated 06/12/23 for the extension and alteration of existing detached house, erection of a garden outbuilding, outdoor swimming pool and associated landscaping.   | Neil McClellan |
| Highgate | Non-Material Amendment                      | HGY/2025/2263 | Approve                 | 27/10/2025 | 11 Sheldon Avenue, Hornsey, London, N6 4JS       | Non-material amendment to planning application ref: HGY/2024/2154 to amend the glazing bar details to all windows, change rear bi-folding doors to sliding doors, remove ground and first floor side windows, install a new side door, and alterations to rooflights.   | Mark Chan      |
| Highgate | Approval of details reserved by a condition | HGY/2025/2329 | Approve                 | 06/10/2025 | 41 Sheldon Avenue, Hornsey, London, N6 4JP       | Approval of details pursuant to Condition 3 (Materials), Condition 5 (Green/blue roof) and Condition 9 (Location of a water butt of 440L to be installed) attached to planning permission ref. HGY/2024/0806 for Demolition and erection of replacement larger dwelling with basement, swimming pool and associated plant equipment to rear garden, and all ancillary works including landscaping, boundary treatments and access. granted on 15/11/2024. | Nathan Keyte   |
| Highgate | Approval of details reserved by a condition | HGY/2025/2330 | Approve                 | 06/10/2025 | 41 Sheldon Avenue, Hornsey, London, N6 4JP       | Approval of details pursuant to condition 7(a) (Energy Strategy) attached to planning permission ref. HGY/2024/0806 for Demolition and erection of replacement larger dwelling with basement, swimming pool and associated plant equipment to rear garden, and all ancillary works including landscaping, boundary treatments and access. granted on 15/11/2024.  | Nathan Keyte   |
| Highgate | Listed building consent (Alt/Ext)           | HGY/2025/2339 | Approve with Conditions | 28/10/2025 | 106 Highgate Hill, Hornsey, London, N6 SHE       | Listed Building Consent: Removal of existing boiler and flue, and installation of new boiler in basement and larger flue on the rear elevation of the building.   | Eunice Huang   |
| Highgate | Householder planning permission             | HGY/2025/2343 | Approve with Conditions | 31/10/2025 | 24 Southwood Lawn Road, Hornsey, London, N6 5SF  | Formation of rear dormer window on the main roof (AMENDED DESCRIPTION)  | Iliyan Topalov |
| Highgate | Consent under Tree Preservation Orders      | HGY/2025/2502 | Approve with Conditions | 07/10/2025 | 52 Hornsey Lane Gardens, Hornsey, London, N6 5PB | Works to tree protected by a TPO. T3 London Plane: Crown reduce by 3-4m to previous pruning points - tree is a lapsed pollard (The proposed works to T1 Magnolia, T2 Bay, T4 Robinia and T5 Robinia will be considered separately under Section 211 Notice reference HGY/2025/2504, as these trees are not protected by a TPO but are located within a Conservation Area)   | Daniel Monk    |

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| Highgate | Approval of details reserved by a condition | HGY/2025/2652 | Approve                 | 31/10/2025 | 44-46, Hampstead Lane, London, N6 4LL                                 | Approval of details reserved by condition 13 (Non-Road Mobile Machinery) of planning permission HGY/2022/2731 for demolition of the existing dwellings and erection of new care home (Use Class C2)   | Samuel Uff      |
| Highgate | Approval of details reserved by a condition | HGY/2025/2946 | Approve                 | 30/10/2025 | 10 Willowdene, 18 View Road, Hornsey, London, N6 4DE                  | Approval of details pursuant to condition 4 (materials) attached to planning permission ref. HGY/2025/1741 for Alterations to front boundary wall granted on 09 Nov 2025.   | Nathan Keyte    |
| Hornsey  | Approval of details reserved by a condition | HGY/2024/2178 | Approve                 | 31/10/2025 | Hornsey Police Station, 98 Tottenham Lane, Hornsey, London, N8 7EJ    | Approval of details pursuant to condition 12 (partial discharge - part 12a only - DEMP) attached to planning permission reference HGY/2022/2116   | Valerie Okeiyi  |
| Hornsey  | Approval of details reserved by a condition | HGY/2025/1072 | Approve                 | 24/10/2025 | Wat Tyler House, Boyton Road, Hornsey, London, N8 7AU                 | Approval of details pursuant to condition 11a (Green Roofs) reserved by planning permission ref: HGY/2023/1835 (as amended from application ref: HGY/2022/3858) for "the construction of 15 new Council rent homes in a part 4, 5 and 7 storey building"                                | Samuel Uff      |
| Hornsey  | Approval of details reserved by a condition | HGY/2025/1410 | Approve                 | 24/10/2025 | Wat Tyler House, Boyton Road, Hornsey, London, N8 7AU                 | Approval of details reserved by a conditions 6 (plant noise) of planning approval ref: HGY/2023/1835 (as amended from permission ref: HGY/2022/3858) for "the construction of 15 new Council rent homes in a part 4, 5 and 7 storey building"   | Samuel Uff      |
| Hornsey  | Householder planning permission             | HGY/2025/1691 | Refuse                  | 13/10/2025 | 31 Priory Road, Hornsey, London, N8 8LH                               | To repair/renew fractured brick work which had collapsed and to replace a section with a fixed panel of fencing and sliding gate access in composite horizontal slatted boarding to height of 1.8m.   | Ben Coffie      |
| Hornsey  | Householder planning permission             | HGY/2025/1740 | Approve with Conditions | 14/10/2025 | 40 Redston Road, Hornsey, London, N8 7HJ                              | Erection of a single storey rear extension with a hipped roof. Formation of a vehicular crossover and dropped kerb and removal of front boundary wall to facilitate off-street car parking with permeable block paving and soft landscaping on the side boundaries in the front garden. | Daniel Boama    |
| Hornsey  | Householder planning permission             | HGY/2025/2110 | Approve with Conditions | 29/10/2025 | 70 Beechwood Road, Hornsey, London, N8 7NG                            | Erection of a single storey rear extension.   | Mark Chan       |
| Hornsey  | Full planning permission                    | HGY/2025/2133 | Refuse                  | 21/10/2025 | Pavement outside, No.13 High Street, London, N8 7PS                   | Removal of existing BT phone box and installation of a proposed replacement BT street hub 3 and associated display of advertisement to both sides of the unit   | Oskar Gregersen |
| Hornsey  | Full planning permission                    | HGY/2025/2143 | Refuse                  | 01/10/2025 | Pavement outside, No. 161 Priory Road, London, N8 8NB                 | Installation of BT street hub 3 and associated display of advertisement to both sides of the unit.  | Oskar Gregersen |
| Hornsey  | Full planning permission                    | HGY/2025/2220 | Approve with Conditions | 09/10/2025 | First And Second Floor Flat, 167 Nelson Road, Hornsey, London, N8 9RR | Erection of a single storey side and rear extension   | Ben Coffie      |
| Hornsey  | Householder planning permission             | HGY/2025/2287 | Approve with Conditions | 23/10/2025 | 41 Warner Road, Hornsey, London, N8 7HB                               | Hip to gable roof extension including 2 roof windows to front elevation, rear dormer extension with terrace over rear flat roof.  | Josh Parker     |
| Hornsey  | Consent to display an advertisement         | HGY/2025/2320 | Refuse                  | 21/10/2025 | Pavement outside, No.13 High Street, London, N8 7PS                   | Advertisement Consent to display digital advertisements via 2no. digital display screens incorporated in street hub unit  | Oskar Gregersen |

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| Hornsey      | Consent to display an advertisement                   | HGY/2025/2321 | Refuse                  | 01/10/2025 | Pavement outside No. 161 Priory Road, London N8 8NB                      | Display digital advertisements via 2no. digital display screens incorporated in street hub unit  | Oskar Gregersen       |
| Hornsey      | Approval of details reserved by a condition           | HGY/2025/2481 | Approve                 | 24/10/2025 | Wat Tyler House, Boyton Road, Hornsey, London, N8 7AU                    | Approval of details reserved by a condition 22 (Detailed Management and maintenance plan for the Sustainable Drainage Scheme) of planning permission ref: HGY/2023/1835 (as amended from permission ref: HGY/2022/3858) for "the construction of 15 new Council rent homes in a part 4, 5 and 7 storey building"   | Samuel Uff            |
| Hornsey      | Prior notification: Development by telecoms operators | HGY/2025/2666 | Permitted Development   | 01/10/2025 | Hornsey Fire Station, 108 Park Avenue South, Hornsey, London, N8 8LS     | Formal notification in writing of 28 days notice in advance, in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 (as amended). Description of Development: The proposed upgrade of an existing telecommunications base station comprising the removal of 2 no existing antennas, and replacement with 2 no new antennas, and the addition of 1 no new dish on support poles, together with the internal upgrade to the existing equipment cabinet and ancillary development thereto on the rooftop of Hornsey Fire Station. | Kwaku Bossman-Gyamera |
| Muswell Hill | Consent under Tree Preservation Orders                | HGY/2025/1308 | Approve with Conditions | 07/10/2025 | Little Lodge, 6 Muswell Hill, Hornsey, London, N10 3TD                   | Works to tree protected by a TPO. T1 Oak, back of property. Crown lift by removing branches on the main stem to a height of 6.0 metres. Specifications: remove live branches as needed   | Daniel Monk           |
| Muswell Hill | Approval of details reserved by a condition           | HGY/2025/1327 | Approve                 | 20/10/2025 | Cranwood Development Site, 100 Woodside Avenue, Hornsey, London, N10 3JA | Approval of details pursuant to condition 10 (Hard and Soft Landscaping) attached to planning permission ref: HGY/2021/2727 dated 10/10/2022 for the demolition of existing building and redevelopment of site to provide 41 new homes (Use Class C3) within 3 buildings ranging from 3 to 6 storeys in height, with associated vehicular access from Woodside Avenue, wheelchair parking, landscaping, refuse/recycling and cycle storage facilities. New stepped access to Parkland Walk from Woodside Avenue.   | Tania Skelli          |
| Muswell Hill | Consent under Tree Preservation Orders                | HGY/2025/1969 | Approve with Conditions | 30/10/2025 | Cinema, Fortis Green Road, Hornsey, London, N10 3HP                      | Works to trees protected by a TPO. Tree work application to reduce the crown by 30% of the lime trees 'T1' and 'T2'. The crown will be reduced by shortening the branches all around the crown to maintain a balanced shape. Crown reduction in height will be 3 metres, and lateral growth also by 3 metres.  | Daniel Monk           |
| Muswell Hill | Householder planning permission                       | HGY/2025/1976 | Approve with Conditions | 07/10/2025 | 6 Methuen Park, Hornsey, London, N10 2JS                                 | Erection of single storey ground floor rear infill extension with roof terrace and metal terrace guardings; replacement of rear first floor window with new patio doors; replacement of existing second floor roof terrace metal guardings with metal terrace guardings; removal of rooflight from flat roof; enlargement of front entrance door at lower ground floor level.  | Nathan Keyte          |



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| Muswell Hill | Consent under Tree Preservation Orders      | HGY/2025/2105 | Approve with Conditions | 07/10/2025 | Flat 2, 52 Church Crescent, Hornsey, London, N10 3NE           | Works to tree protected by a TPO. T1 ? English Oak. A qualified tree surgeon has assessed the tree. He advised to reduce to previous pruning points to provide sufficient clearance to property, and remove any dead wood present within the tree. | Daniel Monk           |
| Muswell Hill | Householder planning permission             | HGY/2025/2136 | Approve with Conditions | 07/10/2025 | 37 Etheldene Avenue, Hornsey, London, N10 3QG                  | Demolition of existing rear outrigger and erection of single storey rear extension. Replacement of existing roof and erection of rear dormer. Replacement of some windows to double glazing and other changes.                                     | Nathan Keyte          |
| Muswell Hill | Full planning permission                    | HGY/2025/2241 | Approve with Conditions | 14/10/2025 | 190, Muswell Hill Broadway, Hornsey, London, N10 3SA           | Installation of plant to the rear of the building in association with air conditioning heat pump system and Mechanical Heat Recovery system (MVHR).  | Roland Sheldon        |
| Muswell Hill | Householder planning permission             | HGY/2025/2243 | Approve with Conditions | 14/10/2025 | 21 Elms Avenue, Hornsey, London, N10 2JN                       | Single-storey rear extension with solar panels to its roof, mansard roof extension, two front conservation rooflights, air source heat pump (ASHP) in rear garden, side stair to front garden.   | Oskar Gregersen       |
| Muswell Hill | Householder planning permission             | HGY/2025/2539 | Approve with Conditions | 29/10/2025 | 26 Ellington Road, Hornsey, London, N10 3DG                    | Erection of ground floor rear extension, repositioning and remodelling of the rear terrace and steps   | Adam Silverwood       |
| Noel Park    | Approval of details reserved by a condition | HGY/2025/0111 | Approve                 | 15/10/2025 | 707-725 LORDSHIP LANE, WOOD GREEN, LONDON, N22 5JY             | Approval of details pursuant to condition 27 (Noise attenuation) attached to planning permission HGY/2024/0450   | Valerie Okeiyi        |
| Noel Park    | Full planning permission                    | HGY/2025/0396 | Approve with Conditions | 13/10/2025 | 12-14 High Road, Wood Green, London, N22 6BX                   | Three-storey upward extension to create 9no. additional residential units, including cycle and refuse storage, landscaping and associated works.   | Adam Silverwood       |
| Noel Park    | Approval of details reserved by a condition | HGY/2025/1255 | Approve                 | 02/10/2025 | Land to the rear of Vera Court, Lordship Lane, London, N22 5LH | Details pursuant to Condition 3 (Materials & detailing) of planning permission reference HGY/2021/3568 granted 25/1/2024 on for the redevelopment of backland garage site into 5 new residential dwellings   | Neil McClellan        |
| Noel Park    | Approval of details reserved by a condition | HGY/2025/1332 | Approve                 | 02/10/2025 | Land to the rear of Vera Court, Lordship Lane, London, N22 5LH | Details pursuant to condition 4 (Landscaping) & condition 5 (Green Roofs) of planning permission reference HGY/2021/3568 granted 25/1/2024 on for the redevelopment of backland garage site into 5 new residential dwellings                       | Neil McClellan        |
| Noel Park    | Approval of details reserved by a condition | HGY/2025/1334 | Approve                 | 06/10/2025 | Land to the rear of Vera Court, Lordship Lane, London, N22 5LH | Approval of details pursuant to Condition 6 (Surface Water Drainage) of planning permission reference HGY/2021/3568 granted 25/1/2024 on for the redevelopment of backland garage site into 5 new residential dwellings                            | Neil McClellan        |
| Noel Park    | Approval of details reserved by a condition | HGY/2025/1335 | Approve                 | 13/10/2025 | Land to the rear of Vera Court, Lordship Lane, London, N22 5LH | Approval of details pursuant to parts a to d of Condition 9 (Site Investigation) of planning permission reference HGY/2021/3568.   | Neil McClellan        |
| Noel Park    | Full planning permission                    | HGY/2025/1913 | Approve with Conditions | 07/10/2025 | 30-32 Lymington Avenue, Wood Green, London, N22 6JA            | Use of the premises as a hot-food takeaway (Sui Generis Use).  | Neil McClellan        |
| Noel Park    | Householder planning permission             | HGY/2025/2144 | Approve with Conditions | 03/10/2025 | 10 Coleraine Road, Wood Green, London, N8 0QL                  | Single story rear and side infill extension  | Emily Whittredge      |
| Noel Park    | Approval of details reserved by a condition | HGY/2025/2274 | Approve                 | 17/10/2025 | Flat A, 67 Mayes Road, Wood Green, London, N22 6TN             | Approval of details reserved by a condition 3 (Privacy Screen) to attached to planning application Ref: HGY/2025/1400.   | Kwaku Bossman-Gyamera |

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| Noel Park           | Householder planning permission                            | HGY/2025/2308 | Approve with Conditions | 23/10/2025 | 46 Willingdon Road, Wood Green, London, N22 6SD               | Erection of a single storey rear and side wraparound extension.  | Mark Chan             |
| Noel Park           | Prior approval Part 1 Class A.1(ea): Larger home extension | HGY/2025/2313 | Refuse                  | 08/10/2025 | 6 Coleraine Road, Wood Green, London, N8 0QL                  | Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 2.85m  | Daniel Boama          |
| Noel Park           | Full planning permission                                   | HGY/2025/2332 | Refuse                  | 31/10/2025 | 73 Gladstone Avenue, Wood Green, London, N22 6JY              | Formation of rear dormer and conversion into 2 separate dwellings  | Josh Parker           |
| Noel Park           | Lawful development: Existing use                           | HGY/2025/2345 | Approve                 | 29/10/2025 | 659 Lordship Lane, Wood Green, London, N22 5LA                | Certificate of lawfulness for use of property as two flats comprising of 1 x 2 bedroom flat at ground floor and 1 x 4 bedroom flat split over 2 floors.  | Sarah Madondo         |
| Noel Park           | Full planning permission                                   | HGY/2025/2364 | Refuse                  | 28/10/2025 | Outside Vue Cinema, Lordship Lane, London, N22 6EJ            | The proposed deployment of a Street Hub 3 unit   | Ben Coffie            |
| Noel Park           | Consent to display an advertisement                        | HGY/2025/2446 | Refuse                  | 28/10/2025 | Outside Vue Cinema, Lordship Lane, London, N22 6EJ            | Advertisement Consent to display digital advertisements via two digital display screens incorporated within a Street Hub unit.   | Ben Coffie            |
| Noel Park           | Lawful development: Proposed use                           | HGY/2025/2566 | Approve                 | 14/10/2025 | 97-101 High Road, Wood Green, London, N22 6BB                 | Lawful development (Proposed Use) pursuant to Section 192 of the Act, to confirm the proposed unrestricted trading operation (i.e. 24 hours a day) of the McDonald's Restaurant at 97-101 High Road in Wood Green  | Iliyan Topalov        |
| Northumberland Park | Approval of details reserved by a condition                | HGY/2024/1549 | Approve                 | 10/10/2025 | 798-808 High Road, Tottenham, London , N17 0DH                | Partial approval reserved by condition 35 (CLP) for works to no. 808 High Road only, of details for the S.73 amended application HGY/2022/1642 for the demolition of existing and redevelopment of a four storey commercial building and change of use and external alterations to the original building (original approval HGY/2020/1584)                                   | Samuel Uff            |
| Northumberland Park | Approval of details reserved by a condition                | HGY/2024/2355 | Approve                 | 24/10/2025 | 808-812 High Road, Tottenham, London , N17 0DH                | Partial approval of details reserved by condition 38 (Community Liaison Group) for the development works to No.808 High Road only for the S.73 amended application HGY/2022/1642 for the demolition of existing and redevelopment of a four storey commercial building and change of use and external alterations to the original building (original approval HGY/2020/1584) | Samuel Uff            |
| Northumberland Park | Full planning permission                                   | HGY/2024/2904 | Refuse                  | 14/10/2025 | 105 Brantwood Road, Tottenham, N17 0DX                        | Change of use from office use (Class E Use) to six self-contained residential flats (Class C3 Use), including the formation of a new roof, new windows and new external render (part retrospective application).   | Neil McClellan        |
| Northumberland Park | Approval of details reserved by a condition                | HGY/2024/3205 | Approve                 | 24/10/2025 | 808-812 High Road, Tottenham, London , N17 0DH                | Approval of details pursuant to Condition 4 (design details) attached to Listed Building Consent HGY/2022/4428   | Samuel Uff            |
| Northumberland Park | Full planning permission                                   | HGY/2025/1296 | Approve with Conditions | 08/10/2025 | 103 Willoughby Lane, Tottenham, London, N17 0RT               | Change of Use of property from a dwellinghouse (Class C3 Use) to a small scale HMO for 5 occupants (Class C4 Use).   | Neil McClellan        |
| Northumberland Park | Approval of details reserved by a condition                | HGY/2025/2048 | Approve                 | 08/10/2025 | Ashdowne Court, 56 Lansdowne Road, Tottenham, London, N17 9XQ | Approval of details reserved by a condition 3 (Materials) attached to planning application Ref: HGY/2022/0295.   | Kwaku Bossman-Gyamera |

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| Northumberland Park | Householder planning permission             | HGY/2025/2167 | Approve with Conditions | 15/10/2025 | 28 Hampden Road, Tottenham, London, N17 0AY                          | Replacement of single storey side temporary wooden structure with new brick extension  | Kwaku Bossman-Gyamera |
| Northumberland Park | Approval of details reserved by a condition | HGY/2025/2172 | Approve                 | 03/10/2025 | Ashdowne Court, 56 Lansdowne Road, Tottenham, London, N17 9XQ        | Approval of details reserved by a condition 6 (Cycle Parking Facilities) attached to planning application Ref: HGY/2022/0295.  | Kwaku Bossman-Gyamera |
| Northumberland Park | Approval of details reserved by a condition | HGY/2025/2173 | Approve                 | 03/10/2025 | Fiske Court, Lansdowne Road, Tottenham, London, N17 0NA              | Approval of details reserved by a condition 6 (Cycling Parking Facilities) attached to planning application Ref: HGY/2022/0305.  | Kwaku Bossman-Gyamera |
| Northumberland Park | Approval of details reserved by a condition | HGY/2025/2222 | Approve                 | 10/10/2025 | Arundel Court, Lansdowne Road, Tottenham, London, N17 0LR            | Approval of details reserved by a condition 12 (Cycle Parking Facilities) to attached to planning application Ref: HGY/2024/1450.  | Kwaku Bossman-Gyamera |
| Northumberland Park | Approval of details reserved by a condition | HGY/2025/2225 | Approve                 | 20/10/2025 | Fiske Court, Lansdowne Road, Tottenham, London, N17 0NA              | Partial approval of details reserved by a condition 12 (Details of Living Roofs) for part (a) only to attached to planning application Ref: HGY/2022/0305.                 | Kwaku Bossman-Gyamera |
| Northumberland Park | Consent to display an advertisement         | HGY/2025/2227 | Approve with Conditions | 10/10/2025 | 18 West Road & Unit 4 West Mews, Tottenham, London, N17 0RP          | Display of 1 externally illuminated fascia sign on the north elevation of 18 West Road and 1 externally illuminated fascia sign on the west elevation of Unit 4 West Mews. | Sarah Madondo         |
| Northumberland Park | Householder planning permission             | HGY/2025/2277 | Approve with Conditions | 14/10/2025 | 12 Baronet Grove, Tottenham, London, N17 0LX                         | Erection of a single storey rear extension   | Emily Whittredge      |
| Northumberland Park | Lawful development: Proposed use            | HGY/2025/2278 | Permitted Development   | 14/10/2025 | 12 Baronet Grove, Tottenham, London, N17 0LX                         | Lawful development certificate for loft conversion including rear dormer and outrigger extension and front roof lights   | Emily Whittredge      |
| Northumberland Park | Approval of details reserved by a condition | HGY/2025/2286 | Approve                 | 21/10/2025 | Arundel Court, Lansdowne Road, Tottenham, London, N17 0LR            | Approval of details reserved by a condition 6 Part A - (Secured by Design Accreditation) to attached to planning application Ref: HGY/2024/1450.                           | Kwaku Bossman-Gyamera |
| Northumberland Park | Consent to display an advertisement         | HGY/2025/2357 | Approve with Conditions | 27/10/2025 | 45-49 Garman Road, London, N17 0UR                                   | Installation of one internally illuminated digital LED signboard at the rear boundary of 45/47 Garman Road, London N17 0UR, positioned to face Watermead Way (A1055).      | Iliyan Topalov        |
| Northumberland Park | Full planning permission                    | HGY/2025/2377 | Approve with Conditions | 29/10/2025 | First Floor Flat, 13 Northumberland Park, Tottenham, London, N17 0TA | Erection of a first floor rear extension to enlarge existing first floor flat.   | Neil McClellan        |
| Northumberland Park | Approval of details reserved by a condition | HGY/2025/2407 | Approve                 | 31/10/2025 | Fiske Court, Lansdowne Road, Tottenham, London, N17 0NA              | Approval of details reserved by a condition 14 a + b Partial discharge (Investigative work - Desk Study Report) attached to planning application Ref: HGY/2022/0305.       | Kwaku Bossman-Gyamera |
| Northumberland Park | Approval of details reserved by a condition | HGY/2025/2408 | Approve                 | 31/10/2025 | Ashdowne Court, 56 Lansdowne Road, Tottenham, London, N17 9XQ        | Approval of details reserved by a condition 14 a + b Partial discharge (Investigative work - Desk Study Report) attached to planning application Ref: HGY/2022/0295.       | Kwaku Bossman-Gyamera |
| South Tottenham     | Full planning permission                    | HGY/2025/1622 | Approve with Conditions | 03/10/2025 | 9 Wakefield Road, Tottenham, London, N15 4NJ                         | Refurbishment of roof and front bay window including the replacement of existing windows.  | Mark Chan             |
| South Tottenham     | Full planning permission                    | HGY/2025/2038 | Approve with Conditions | 28/10/2025 | 34 Tynemouth Road, Tottenham, London, N15 4AX                        | Formation of a rear dormer and roof extension over the existing outrigger  | Sabelle Adjagboni     |
| South Tottenham     | Householder planning permission             | HGY/2025/2074 | Approve with Conditions | 28/10/2025 | 66 Wargrave Avenue, Tottenham, London, N15 6UB                       | Erection of Type 3 loft extension  | Sarah Madondo         |
| South Tottenham     | Householder planning permission             | HGY/2025/2090 | Approve with Conditions | 30/10/2025 | 87 Craven Park Road, Tottenham, London, N15 6AH                      | Erection of a type 3 loft extension.   | Sarah Madondo         |
| South Tottenham     | Householder planning permission             | HGY/2025/2094 | Approve with Conditions | 06/10/2025 | 12 Grovelands Road, Tottenham, London, N15 6BU                       | Erection of additional storey 'Type 3' extension (the erection of 2nd floor extension with loft accommodation at 3rd level within a pitched roof).                         | Emily Whittredge      |

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| South Tottenham | Lawful development: Existing use       | HGY/2025/2226 | Approve                 | 15/10/2025 | 105 Broad Lane, Tottenham, London, N15 4DP                 | Lawful Development Certificate: Existing use of Flat C (Rear Ground Floor) as a self-contained studio flat.   | Iliyan Topalov    |
| South Tottenham | Lawful development: Proposed use       | HGY/2025/2254 | Permitted Development   | 15/10/2025 | 28 Colless Road, Tottenham, London, N15 4NR                | Lawful development (Proposed) certificate for the formation of 2no. flank dormers under Schedule 2, Part 1, Class B of the GPDO   | Oskar Gregersen   |
| South Tottenham | Full planning permission               | HGY/2025/2358 | Approve with Conditions | 29/10/2025 | 18-22 Clifton Gardens, Tottenham, London, N15 6AP          | Erection of first floor rear extension across three adjoining properties  | Mark Chan         |
| South Tottenham | Householder planning permission        | HGY/2025/2375 | Refuse                  | 31/10/2025 | 28 Colless Road, Tottenham, London, N15 4NR                | Erection of two-storey rear extension   | Sabelle Adjagboni |
| South Tottenham | Lawful development: Proposed use       | HGY/2025/2524 | Permitted Development   | 30/10/2025 | 2 Lealand Road, Tottenham, London, N15 6JS                 | Certificate of Lawfulness for the proposed erection of a dormer extension to the rear roof and 2-storey outrigger.  | Neil McClellan    |
| South Tottenham | Consent under Tree Preservation Orders | HGY/2025/2630 | No Objection            | 10/10/2025 | 10 Talbot Road, Tottenham, London, N15 4DH                 | Five Day Notice - T1 Robinia tree in the front garden of 10 Talbot Road N15, protected by a TPO - fell. The attached report outlines the reasons for the removal. The tree has advanced decay in the trunk with a large decay fruiting fungi bracket present which has compromised the structural integrity of the tree. This is a serious structural defect. Perenniporia fraxinea can cause the wood to shear at the roots and butt. Making the affected area(s) structurally unsound with the potential to fail without notice. There is no treatment, or ways to prevent the acceleration of the decay. The fungal fruiting bodies usually only appear after the trunk or branch are substantially decayed. Ornamental trees do not respond well to decay and once colonised, their stability can weaken rapidly. | Daniel Monk       |
| South Tottenham | Consent to display an advertisement    | HGY/2025/2926 | No Objection            | 29/10/2025 | 12, Craven Park Road, London, NW10 4AB                     | Display of advertisements   | Emily Whittredge  |
| St Ann's        | Lawful development: Proposed use       | HGY/2025/1919 | Approve                 | 02/10/2025 | 12 Avondale Road, Tottenham, London, N15 3SJ               | Certificate of Lawfulness for proposed rear garden outbuilding  | Nathan Keyte      |
| St Ann's        | Full planning permission               | HGY/2025/2018 | Approve with Conditions | 24/10/2025 | 18 Woodlands Park Road, Tottenham, London, N15 3RT         | Erection of rear dormer to property comprising a 6 bedroom HMO for up to 6 residents (C4 Use Class) and a one bedroom self-contained flat   | Oskar Gregersen   |
| St Ann's        | Householder planning permission        | HGY/2025/2126 | Approve with Conditions | 21/10/2025 | Flat 2, 40 Woodlands Park Road, Tottenham, London, N15 3RX | Erection of rear L-shaped dormers, roof terrace, 3 x rooflight to front roofslope, replacement windows including Juliet balcony and associated internal upgrades.   | Sarah Madondo     |
| St Ann's        | Householder planning permission        | HGY/2025/2127 | Approve with Conditions | 29/10/2025 | Flat 1, 40 Woodlands Park Road, Tottenham, London, N15 3RX | Erection of single-storey rear/side infill extension, new rooflights, replacement windows, and associated upgrades to interior and rear garden.   | Sarah Madondo     |
| St Ann's        | Lawful development: Proposed use       | HGY/2025/2165 | Permitted Development   | 07/10/2025 | 26-28 Grove Road, Tottenham, London, N15 5HJ               | Lawful development certificate for garden room  | Emily Whittredge  |
| St Ann's        | Lawful development: Proposed use       | HGY/2025/2246 | Approve                 | 14/10/2025 | 52 Cissbury Road, Tottenham, London, N15 5QA               | Certificate of lawfulness (proposed development) for the formation of a rear dormer and roof extension including the insertion of 3x front and 1x rear rooflights   | Mercy Oruwari     |
| St Ann's        | Lawful development: Proposed use       | HGY/2025/2253 | Permitted Development   | 22/10/2025 | 25 Clarendon Road, Tottenham, London, N15 3JX              | Lawful development certificate: Erection of rear L shaped dormer roof extension with window. Roof lights to front elevation.  | Adam Silverwood   |

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| St Ann's          | Lawful development: Proposed use            | HGY/2025/2548 | Permitted Development   | 06/10/2025 | 11 Lydford Road, Tottenham, London, N15 5PX                    | Certificate of lawfulness of proposed use: Erection of the rear L-shaped dormer above main roof and outrigger and insertion of 2no. front rooflights on main roof.  | Daniel Boama          |
| Stroud Green      | Householder planning permission             | HGY/2025/1406 | Approve with Conditions | 02/10/2025 | 84 Stapleton Hall Road, Hornsey, London, N4 4QA                | Removal of existing render to reinstate the original brickwork external walls.  | Mark Chan             |
| Stroud Green      | Householder planning permission             | HGY/2025/1443 | Refuse                  | 10/10/2025 | Unit D, 12 Victoria Terrace, Hornsey, London, N4 4DA           | Erection of a Single Storey Extension   | Kwaku Bossman-Gyamera |
| Stroud Green      | Approval of details reserved by a condition | HGY/2025/1727 | Approve                 | 29/10/2025 | 16 Stapleton Hall Road, Hornsey, London, N4 3QD                | Approval of details pursuant to Condition 4 (front garden treatment including refuse & cycle storage) of planning permission reference HGY/2024/0811  | Neil McClellan        |
| Stroud Green      | Full planning permission                    | HGY/2025/1845 | Approve with Conditions | 29/10/2025 | 6 Beatrice Road, Hornsey, London, N4 4PD                       | Replacement of existing timber windows with double glazed timber window frames  | Sabelle Adjagboni     |
| Stroud Green      | Full planning permission                    | HGY/2025/1846 | Approve with Conditions | 29/10/2025 | 38 Beatrice Road, Hornsey, London, N4 4PD                      | Replacement of existing timber window frames with double glazed timber units.   | Sabelle Adjagboni     |
| Stroud Green      | Householder planning permission             | HGY/2025/2168 | Refuse                  | 10/10/2025 | 88 Oakfield Road, Hornsey, London, N4 4LB                      | 2nd Floor Roof Extension with Rear Dormer, 2 Flat Rooflights and Safety Handrail to the rear, front and side of the roof.   | Eunice Huang          |
| Stroud Green      | Householder planning permission             | HGY/2025/2184 | Approve with Conditions | 06/10/2025 | Flat 1, 48 Blythwood Road, Hornsey, London, N4 4EX             | Single storey rear extension  | Nathan Keyte          |
| Stroud Green      | Full planning permission                    | HGY/2025/2196 | Approve with Conditions | 07/10/2025 | Ground Floor Flat, 29 Ferme Park Road, Hornsey, London, N4 4EB | Replacement of existing lean-to kitchen and extensions with a full width rear extension.  | Josh Parker           |
| Stroud Green      | Lawful development: Proposed use            | HGY/2025/2223 | Approve                 | 10/10/2025 | 77 Inderwick Road, Hornsey, London, N8 9LA                     | Lawful Development Certificate (Proposed) for a rear facing L-shaped dormer, the installation of 2 front facing Velux windows.  | Iliyan Topalov        |
| Stroud Green      | Consent under Tree Preservation Orders      | HGY/2025/2711 | No Objection            | 07/10/2025 | 34 Mount View Road, Hornsey, London, N4 4HX                    | Five Day Notice. There is a dead Walnut tree at the end of the garden and wish to give five days' notice of works to remove the tree. Tree surgeon states it is in a dangerous condition and needs to be removed without delay.   | Daniel Monk           |
| Tottenham Central | Approval of details reserved by a condition | HGY/2025/0189 | Approve                 | 16/10/2025 | Land adjacent to, 222 The Avenue, Tottenham, London, N17 6JN   | Details of Energy Strategy as required by condition 8 of planning permission dated 03/03/2023 (ref. HGY/2022/2310) for: Demolition of the existing building and replacement with a new 2 bedroom dwelling house   | Emily Whittredge      |
| Tottenham Central | Lawful development: Proposed use            | HGY/2025/1581 | Permitted Development   | 27/10/2025 | 4 Handsworth Road, Tottenham, London, N17 6DE                  | Certificate of Lawfulness for proposed rear dormer and outrigger extensions to facilitate loft conversion with associated rooflights to front roofslope   | Oskar Gregersen       |
| Tottenham Central | Householder planning permission             | HGY/2025/2109 | Approve with Conditions | 30/10/2025 | 43 Moorefield Road, Tottenham, London, N17 6PU                 | Erection of a single-storey side infill extension with four roof lights; Increase in the height of the existing rear extension to 3.007m; Alterations to the fenestration on the existing rear ground floor elevation, including an additional skylight on the rear roof. | Sabelle Adjagboni     |
| Tottenham Central | Approval of details reserved by a condition | HGY/2025/2174 | Approve                 | 06/10/2025 | 74 Clyde Road, Tottenham, London, N15 4JX                      | Approval of details pursuant to conditions 3 (materials), 5 (brick ailing) and 6 (conservation rooflights) attached to planning permission HGY/2021/3565.   | Matthew Gunning       |
| Tottenham Central | Lawful development: Proposed use            | HGY/2025/2186 | Approve                 | 06/10/2025 | 7 Arnold Road, Tottenham, London, N15 4JF                      | Certificate of lawfulness for the erection of a proposed rear dormer and roof extension including the insertion of 2x front rooflights  | Mercy Oruwari         |

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| Tottenham Central | Householder planning permission                       | HGY/2025/2204 | Approve with Conditions | 08/10/2025 | 112 Ranelagh Road, Tottenham, London, N17 6XT               | Erection of single storey rear infill extension.   | Daniel Boama          |
| Tottenham Central | Householder planning permission                       | HGY/2025/2209 | Refuse                  | 08/10/2025 | 112 Ranelagh Road, Tottenham, London, N17 6XT               | Construction of 1no. first floor rear balcony on outrigger rear wall with 1.1m metal railing safety balustrade and 1no. first floor rear balcony on main building rear wall with 1.1m metal railing safety balustrade inc. associated changes of existing first floor rear windows into doors to access balconies.   | Daniel Boama          |
| Tottenham Central | Householder planning permission                       | HGY/2025/2239 | Approve with Conditions | 27/10/2025 | Flat A, 98 Greyhound Road, Tottenham, London, N17 6XN       | Erection of single storey rear side infill extension with sloped roof and 2no. rooflights. Replacement of ground floor rear 2no. windows on outrigger with 1no. French doors to access rear garden. Demolition of existing outbuilding and erection of new outbuilding in rear garden comprising office and storage facilities.  | Daniel Boama          |
| Tottenham Central | Full planning permission                              | HGY/2025/2305 | Refuse                  | 22/10/2025 | Sycamore Gardens, 295 High Road, Tottenham, London, N15 4RQ | Replacement of existing timber windows with modern double glazed timber units  | Oskar Gregersen       |
| Tottenham Central | Lawful development: Proposed use                      | HGY/2025/2486 | Refuse                  | 06/10/2025 | 94 Portland Road, Tottenham, London, N15 4SX                | Certificate of Lawfulness (Proposed) for the erection of single storey rear extension.   | Iliyan Topalov        |
| Tottenham Central | Prior notification: Development by telecoms operators | HGY/2025/2690 | Permitted Development   | 03/10/2025 | 28 Lawrence Road, Tottenham, London, N15 4EG                | Formal notification in writing of 28 days notice in advance, in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 (as amended). Description of Development: The upgrade of existing telecommunications base station comprising the removal of 6 no. antennas and replacement with 6 no. antennas on 3 no. new antenna support poles, associated radio units and other ancillary works (upgraded radio equipment to be housed within the existing equipment cabinet). | Kwaku Bossman-Gyamara |
| Tottenham Central | Lawful development: Proposed use                      | HGY/2025/2808 | Permitted Development   | 30/10/2025 | 10 Heritage Mews, Tottenham, London, N17 6RE                | Lawful development certificate (proposed) for change of use of a dwelling house (C3a) to care for children and young people (C3b).   | Kwaku Bossman-Gyamara |
| Tottenham Central | Lawful development: Proposed use                      | HGY/2025/2828 | Approve                 | 22/10/2025 | 93 St Loys Road, Tottenham, London, N17 6UE                 | Loft conversion with rear L-shaped dormer and two rooflights on front roof slope   | Josh Parker           |

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| Tottenham Hale | Non-Material Amendment                                     | HGY/2024/1824 | Approve                 | 24/10/2025 | 29-33, The Hale, Tottenham, London, N17 9JZ                               | Non-Material Amendment (NMA) to Condition 2 (Approved Plans and Documents), Condition 10 (Landscape Details), Condition 14 (Energy Strategy), Condition 15 (Overheating (Student Accommodation)), and Condition 21 (PV Arrays) of planning permission HGY/2021/2304 to enable: Internal changes to several accessible rooms with associated reconfiguration of bedrooms to ensure compliance with DDA requirements and relocation of shared amenity spaces; Redesign of basement and a reduction in its size for structural reasons; Changes to the core and internal layouts to comply with fire regulations; Integration of an ASHP heating solution and updated energy strategy, with plant added to roof - reducing floor area of the terrace, and associated updates to relevant Conditions 14, 15, & 21; Laundry moved to first floor and current laundry converted into an additional studio student room at level 7; an overall reduction in internal shared amenity space; amendments to Condition 15 (part 2) to remove reference to the Cooling Hierarchy and the Acoustics Ventilation and Overheating Residential Design Guide? and replace it with ?Approved Document O?; updated drainage strategy and associated updates to Condition 10; and removal of the curtain walling on the ground floor retail unit, specifically on the southeast/southwest elevation, and replace it with brickwork. | Philip Elliott   |
| Tottenham Hale | Full planning permission                                   | HGY/2025/1784 | Approve with Conditions | 28/10/2025 | 1 Emily Bowes Court, Lebus Street, Tottenham, London, N17 9FD             | Replacement of 5no. windows and 1no. louvre with 6no. new louvres on west elevation.  | Daniel Boama     |
| Tottenham Hale | Lawful development: Proposed use                           | HGY/2025/2233 | Permitted Development   | 10/10/2025 | Eagle Heights (Pavilion 6), Hale Village , Waterside Way, London, N17 9GJ | Certificate of Lawfulness for replacement of existing materials with alternative non-combustible materials.   | Emily Whittredge |
| Tottenham Hale | Full planning permission                                   | HGY/2025/2240 | Refuse                  | 24/10/2025 | 84 Rosebery Avenue, Tottenham, London, N17 9SA                            | Change of use of the above property from a single-family dwelling house (Use Class C3) to a small House in Multiple Occupation (Use Class C4) for up to four unrelated individuals sharing communal facilities.   | Josh Parker      |
| Tottenham Hale | Prior approval Part 1 Class A.1(ea): Larger home extension | HGY/2025/2535 | Not Required            | 30/10/2025 | 91 Sherringham Avenue, Tottenham, London, N17 9RT                         | Erection of single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 4m and for which the height of the eaves would be 3m  | Daniel Boama     |
| West Green     | Approval of details reserved by a condition                | HGY/2024/0363 | Approve                 | 06/10/2025 | 37 Boundary Road, Tottenham, London, N22 6AS                              | Approval of details pursuant to conditions 3 (Cycle Parking) & 4 (Construction Management Plan) pursuant to planning permission ref: HGY/2023/1348  | Gareth Prosser   |

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| West Green | Non-Material Amendment          | HGY/2025/1800 | Approve                 | 06/10/2025 | Broadwater Farm Estate, London                          | <p>Application for a Non-Material Amendment to the planning permission HGY/2022/0823 as approved on 07/03/2023 for: Demolition of the existing buildings and structures and erection of new mixed-use buildings including residential (Use Class C3), commercial, business and service (Class E) and local community and learning (Class F) floorspace; energy centre (sui generis); together with landscaped public realm and amenity spaces; public realm and highways works; car-parking; cycle parking; refuse and recycling facilities; and other associated works. Site comprising: Tangmere and Northolt Blocks (including Stapleford North Wing); Energy Centre; Medical Centre; Enterprise Centre; and former Moselle school site, at Broadwater Farm Estate. Amendments sought include: Alteration to the height and massing of Tangmere blocks Linking of the lift cores and alterations to the access decks to provide secondary means of escape for Tangmere blocks Amendments to the balcony typologies within the Tangmere blocks Replacement of the 'scissor flats' within Tangmere with single storey flats Wellbeing Hub to be omitted and replaced with 3no. 3 bed dwellings Amendments to the elevational design and fenestration of the Tangmere and Townhouses buildings Alterations to mix of dwellings resulting in an overall increase in 8 homes at Tangmere</p> | Adam Silverwood |
| West Green | Full planning permission        | HGY/2025/1884 | Approve with Conditions | 29/10/2025 | 45 & 47 Downhills Park Road, Tottenham, London, N17 6PE | Joint application for the erection of a single-storey ground floor rear/side infill extensions at no. 45 & 47 Downhills Park Road.   | Sarah Madondo   |
| West Green | Householder planning permission | HGY/2025/1900 | Approve with Conditions | 06/10/2025 | 45 Downhills Park Road, Tottenham, London, N17 6PE      | Formation of rear dormer window to main roof and second floor dormer over existing rear outrigger; new rooflights and replacement of windows.  | Sarah Madondo   |



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| West Green | Non-Material Amendment           | HGY/2025/1948 | Approve                 | 31/10/2025 | Broadwater Farm Estate, London                  | Application for a Non-Material Amendment to the planning permission HGY/2022/0823 - Broadwater Farm Estate, London, N17, as approved on 07/03/2023 for: Demolition of the existing buildings and structures and erection of new mixed-use buildings including residential (Use Class C3), commercial, business and service (Class E) and local community and learning (Class F) floorspace; energy centre (sui generis); together with landscaped public realm and amenity spaces; public realm and highways works; car-parking; cycle parking; refuse and recycling facilities; and other associated works. Site comprising: Tangmere and Northolt Blocks (including Stapleford North Wing); Energy Centre; Medical Centre; Enterprise Centre; and former Moselle school site, at Broadwater Farm Estate. Amendments sought include: - Brick-clad structural columns to three balconies - Omission of deck access to corner flats and inclusion of recessed balconies on the east side of the Moselle building. - Amendment of substation doors. - Height of balcony and walkway parapets increased to 1.1 metres and omission of metal balustrades. - Horizontal transom included to Moselle building windows. These works are related to Moselle phase of the parent application only. | Adam Silverwood  |
| West Green | Lawful development: Proposed use | HGY/2025/1984 | Permitted Development   | 28/10/2025 | 94 Mannock Road, Tottenham, London, N22 6AA     | Certificate of lawfulness (Proposed) for the erection a rear dormer, installation of 2 front rooflights.  | Sarah Madondo    |
| West Green | Householder planning permission  | HGY/2025/2128 | Approve with Conditions | 01/10/2025 | 94 Langham Road, Tottenham, London, N15 3LX     | Erection of single storey side infill extension, formation of L-shaped rear dormer and new rooflights   | Emily Whittredge |
| West Green | Lawful development: Proposed use | HGY/2025/2219 | Approve                 | 10/10/2025 | 80 Boundary Road, Tottenham, London, N22 6AD    | Certificate of Lawfulness for the erection of single storey extension which extends beyond the rear wall of the original house by 4.5m, for which the maximum height would be 3.92m and for which the height of the eaves would be 3m in relation to Prior Approval application HGY/2025/1649 - Proposed Use  | Mercy Oruwari    |
| West Green | Householder planning permission  | HGY/2025/2245 | Approve with Conditions | 14/10/2025 | 91 Carlingford Road, Tottenham, London, N15 3EJ | Erection of ground floor single-storey rear extension   | Oskar Gregersen  |
| West Green | Householder planning permission  | HGY/2025/2298 | Approve with Conditions | 21/10/2025 | 9 Somerset Close, Tottenham, London, N17 6DL    | Replacement of existing timber windows with modern profile uPVC windows.  | Mercy Oruwari    |
| West Green | Householder planning permission  | HGY/2025/2300 | Approve with Conditions | 22/10/2025 | 11 Somerset Close, Tottenham, London, N17 6DL   | Replacement of existing timber windows with modern profile uPVC windows.  | Mercy Oruwari    |
| West Green | Householder planning permission  | HGY/2025/2301 | Approve with Conditions | 21/10/2025 | 60 Somerset Close, Tottenham, London, N17 6DN   | Replacement of existing timber windows with modern profile uPVC windows.  | Mercy Oruwari    |
| West Green | Householder planning permission  | HGY/2025/2346 | Approve with Conditions | 27/10/2025 | 11 Ripon Road, Tottenham, London, N17 6PP       | Removal of 2 roof lights and reinstating roof turret to front elevation. Demolition and rebuilding of existing single storey, rear, side return extension, replacement windows to front and rear elevation. Internal alterations and all associated works.  | Oskar Gregersen  |

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| West Green      | Lawful development: Proposed use            | HGY/2025/2396 | Approve                 | 14/10/2025 | 5 Wilmot Road, Tottenham, London, N17 6LH                | Certificate of Lawfulness (Proposed) for the replacement of the current rear extension  | Iliyan Topalov        |
| White Hart Lane | Householder planning permission             | HGY/2024/1557 | Refuse                  | 14/10/2025 | 169 The Roundway, Tottenham, London, N17 7HE             | Erection of part single, part two storey side and rear extensions   | Neil McClellan        |
| White Hart Lane | Full planning permission                    | HGY/2025/0689 | Approve with Conditions | 13/10/2025 | 14 Ellenborough Road, Wood Green, London, N22 5HA        | Conversion of the loft including new dormer extensions to the main rear roof slope and outrigger, and three rooflights to the front roof slope.   | Neil McClellan        |
| White Hart Lane | Approval of details reserved by a condition | HGY/2025/0750 | Approve                 | 08/10/2025 | Land adjacent to 8 Grainger Road, London, N22 5LT        | Submission of details pursuant to Condition 9 (energy strategy) of planning permission reference HGY/2022/1789.   | Neil McClellan        |
| White Hart Lane | Approval of details reserved by a condition | HGY/2025/0751 | Approve                 | 08/10/2025 | Land adjacent to 8 Grainger Road, London, N22 5LT        | Submission of details pursuant to Condition 10 (landscaping) of planning permission reference HGY/2022/1789.  | Neil McClellan        |
| White Hart Lane | Householder planning permission             | HGY/2025/0931 | Refuse                  | 23/10/2025 | 12 New Road, Wood Green, London, N22 5ET                 | Retrospective permission for retention of rear canopy   | Sarah Madondo         |
| White Hart Lane | Full planning permission                    | HGY/2025/1683 | Refuse                  | 03/10/2025 | 105 Eldon Road, Wood Green, London, N22 5ED              | Conversion of garage to self-contained dwelling with access from Fife Road, and subdivision of garden   | Emily Whittredge      |
| White Hart Lane | Full planning permission                    | HGY/2025/2115 | Approve with Conditions | 29/10/2025 | 39 Devonshire Hill Lane, Tottenham, London, N17 7NE      | Change of use from C3 (dwellinghouse) to C2 (residential institution, children's home for up to 2 children).  | Sarah Madondo         |
| White Hart Lane | Full planning permission                    | HGY/2025/2341 | Refuse                  | 29/10/2025 | 116 Norfolk Avenue, Wood Green, London, N13 6AJ          | Subdivision of the site and erection of a 2-storey end of terrace dwellinghouse with rear loft extension for 1no. 3bedroom inc. landscaping, car parking, cycle and bin storage.                      | Daniel Boama          |
| White Hart Lane | Householder planning permission             | HGY/2025/2360 | Approve with Conditions | 28/10/2025 | 67 Eldon Road, Wood Green, London, N22 5ED               | Erection of two storey side to rear extension, single storey rear extension, hip to gable and rear dormer roof extensions, insertion of 2 front rooflights.   | Oskar Gregersen       |
| White Hart Lane | Lawful development: Proposed use            | HGY/2025/2742 | Permitted Development   | 27/10/2025 | 120 Gospatrick Road, Tottenham, London, N17 7JE          | Lawful Development Certificate (Proposed) for hip-to-gable roof enlargement, formation of rear roof dormer extension, installation of 2x front roof-lights and 1x obscured side flank window.         | Iliyan Topalov        |
| White Hart Lane | Lawful development: Proposed use            | HGY/2025/2876 | Permitted Development   | 24/10/2025 | 1 Grainger Road, Wood Green, London, N22 5LT             | Certificate of lawfulness for the proposed installation of a new high level, obscurely glazed, ground floor window on the property's side elevation.  | Neil McClellan        |
| Woodside        | Full planning permission                    | HGY/2024/3115 | Approve with Conditions | 24/10/2025 | 12 Canning Crescent, Wood Green, London, N22 5SR         | Demolishment of existing dwelling and redevelopment of the site to provide 9 self contained flats. (Amendments to the approved application (HGY/2023/1337) .  | Kwaku Bossman-Gyamera |
| Woodside        | Full planning permission                    | HGY/2025/0603 | Approve with Conditions | 15/10/2025 | Flat 1, 66 Arcadian Gardens, Wood Green, London, N22 5AD | Erection of an outbuilding in the rear garden to provide shared communal living space ancillary to the existing small scale HMO for up to six residents (Class C4 Use) . (Retrospective Application). | Kwaku Bossman-Gyamera |
| Woodside        | Full planning permission                    | HGY/2025/1637 | Refuse                  | 20/10/2025 | 29 Lyndhurst Road, Wood Green, London, N22 5AX           | Retrospective permission for use of premises as a House in Multiple Occupation (HMO) for a maximum of 4 occupants (Use Class C4).   | Roland Sheldon        |
| Woodside        | Full planning permission                    | HGY/2025/1820 | Refuse                  | 07/10/2025 | 40 Dunbar Road, Wood Green, London, N22 5BE              | Change of Use from a C3 Dwellinghouse to a 5-person House in Multiple Occupation (Use Class C4)   | Oskar Gregersen       |

|          |                          |               |                         |            |   |  |              |
|----------|--------------------------|---------------|-------------------------|------------|---|--|--------------|
| Woodside | Full planning permission | HGY/2025/1989 | Approve with Conditions | 07/10/2025 | 12 Park Avenue, Wood Green, London, N22 7EX | Retrospective conversion of property to two self-contained units; Proposed ground floor single-storey rear extension, retention of first floor terrace, new ground floor front bay window; changes to fenestration and replacement roof tiles (amended description). | Nathan Keyte |
| Woodside | Change of use            | HGY/2025/2040 | Refuse                  | 27/10/2025 | 2B and 2C Marquis Road N22 8JH              | Change of use of the property from 2X family dwelling house (C3(a) Use Class) to create 2X HMO for up to six residents each (C4 Use Class).  | Nathan Keyte |

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